



TOWN OF AMENIA

ZONING BOARD OF APPEALS DEPARTMENT

4988 Route 22, AMENIA, NY 12501

TEL: 845-373-8860 x 124 FAX: 845-789-1132

NOTICE OF PUBLIC HEARING TOWN OF AMENIA ZONING BOARD OF APPEALS

AREA VARIANCES RELATED TO PROPERTY LOCATED AT 4723 NYS ROUTE 22

NOTICE IS HEREBY GIVEN that, pursuant to Section 121-59(G) of the Town of Amenia Zoning Code, a public hearing will be held by the Zoning Board of Appeals (ZBA) of the Town of Amenia, New York, on February 21st 2023 at 6:00 PM.

Video conferencing will be used to allow a member of the ZBA to participate remotely. Accordingly, the hearing will be accessible to the public at the following locations:

- Amenia Town Hall, 4988 Route 22, Town of Amenia, NY
- 201 N. John Rodes Blvd. Melbourne, FL 32934-8955 (One ZBA member will be participating via video conference from this location.)

The following matter is scheduled for a public hearing:

Applicant New York State Electric & Gas Corporation (“NYSEG”) seeks area variances in furtherance of proposed modifications to its existing electrical substation known as the Amenia Substation. The requested area variances include: (i) a two hundred eighty five (285) foot variance to allow a setback of 335 feet where the maximum front yard setback in the HR District is fifty (50) feet and the current setback is one hundred forty (140) feet; (ii) a twenty-four (24) foot variance to allow a setback of seventy-four (74) feet for a replacement fence, where the maximum front yard setback in the HR District is fifty (50) feet and the current fence setback is seventy-four and ½ feet (74.5) feet; (iii) a variance to allow 38% impervious surface coverage where the maximum impervious surface coverage in the HR District is 30% and the current impervious surface coverage is 32%; (iv) a two hundred forty eight (248) foot variance to allow a one thousand two hundred forty eight (1,248) square foot footprint where the maximum footprint for nonresidential structures in the HR District is one thousand (1,000) square feet; (v) a five (5) foot variance to allow a twenty-five (25) foot work light mounting height where the maximum allowable exterior lighting fixture height is twenty (20) feet and (vi) a twenty (20) foot variance to allow a sixty (60) foot lightning mast height where the maximum allowable height in the HR District is forty (40) feet.

The property is located at 4723 NYS Route 22, Tax Parcel # 132000-7067-20-935134-0000.

A copy of the application is on file in the Planning/Zoning Office, 2nd Floor for public viewing and inspection, Monday-Thursday, 9-3 P.M by appointment. Please call 845-373-8860 X 122. The Application can also be viewed and downloaded from the Town's official website at www.ameniany.gov.

At the public hearing noticed herein, the ZBA will hear all persons interested in the application and also submit written comments to the ZBA prior to or at such hearing to jwestfall@ameniany.gov

Terry Metcalfe, Chairman
Town of Amenia Zoning Board Appeals
Dated: February 1, 2023

December 22, 2022

Town of Amenia
Judith Westfall, Zoning Board of Appeals Secretary
4988 Route 22
Amenia, New York 12501

**RE: New York State Electric & Gas Corporation
Amenia Substation Expansion – Area Variance Request**

Dear Ms. Westfall:

New York State Electric & Gas Corporation (NYSEG) previously received variances for this project on March 15, 2021. As more than one year has elapsed, the variances have expired.

On behalf of NYSEG, we are submitting the following items to the Zoning Board of Appeals in support of variance requests associated with the proposed modifications to the existing NYSEG electrical substation known as Amenia Substation:

- Zoning Board of Appeals Application
 - Ag Statement
 - Separate Sheet for *Provisions of Zoning Law Relating to this Application*
- Application Fee (\$350) and Escrow Fee (\$2500)
- Plan Set (3 copies total: 1 full-size, 2 half-size)

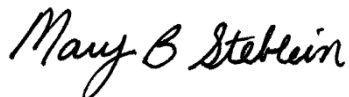
The existing substation is located at 4723 State Route 22, with grid number 132000-7067-20-935134-0000. We have been referred by the Planning Board during the Site Plan review process. The Planning Board is in support of the proposed variances, please refer to the “NYSEG Application – Route 22 Substation expansion” memo from the Planning Board to the Zoning Board of Appeals, regarding this matter.

Six variances are requested in support of the proposed substation expansion design and generally are necessary to meet NYSEG standards and the safety requirements of the National Electrical Safety Code, as well as sequencing needs to keep the substation energized throughout construction.

If there are any questions, please contact me at (585) 295-6652 or msteblein@labellapc.com.

Respectfully submitted,

LaBella Associates



Mary B. Steblein, PE, CPESC

Encl.

cc: File 2150058.192 w/ encl.
Robert Stout, Whiteman Osterman & Hanna LLP (rstout@woh.com)

Provisions of Zoning Law relating to this Application, and variance(s) from zoning:

Code Section	Concern	Variance Request
121-11	Building Setback	Variance of 285 feet is requested. Proposed setback is 335 feet and the minimum is 40 feet and maximum is 50 feet (which falls within the road right-of-way). <i>Existing non-conformity, front setback is 140 feet.</i>
121.30 (H)(2)	Fence Setback Based on Height	Variance of 24 feet is requested to allow a setback of 74 feet for a replacement fence. The maximum front yard setback in the HR District is 50 feet and the current fence setback is 74.5 feet.
121-11	Maximum Impervious Surface	Variance of 8% is requested. 38% is proposed and 30% is permitted. <i>Existing non-conformity of 32%</i>
121-11	Maximum Footprint for Non-Residential Structure	Variance of 248 square feet is requested. 1248 square feet is proposed and 1000 square feet is permitted.
121-65 (D)(5)(b)	Work Light Mounting Height	Variance of 5 feet is requested. 25 foot mounting height is proposed and 20 feet is permitted.
121-11	Lightning Mast (Allowable Structure Height)	Variance of 20 feet is requested. 60 feet masts are proposed and 40 feet masts are permitted



TOWN OF AMENIA

4988 Route 22, AMENIA, NY 12501
TEL: 845-373-8860, x118 FAX: 845-373-9147

ZONING BOARD OF APPEALS APPLICATION

.....
Dear Applicant:

Attached is an application to the Zoning Board of Appeals (ZBA). Please submit all applicable information on the **checklist along with 3 copies and a pdf of all information along with required fees to the Zoning Board of Appeals Office at least three (3) weeks** prior to the ZBA meeting. Meetings are scheduled for the **3rd Monday** of every month at the Amenia Town Hall, 4988 Route 22, at 7:00 P.M. (unless specified otherwise).

The applicant is responsible for any costs incurred for public hearing notices and review of the application by Town consultants, if needed. An Escrow fee is required and will be set by the ZBA Board. If the matter before the Zoning Board of Appeals was cancelled on the part of the applicant, there will be no refund of the application fee. Incomplete applications will not be put on the Agenda. If an applicant decides to postpone or cancel his/her appearance, please telephone the Zoning Board Secretary, x124 or Zoning Enforcement Officer, x118 **AT LEAST 48 HOURS IN ADVANCE**, because there are clerical functions, which must occur (i.e. notifying property owners, notice in the paper, etc.)

Please supply a cover letter and describe the project in your own words including any hardships involved.

The applicant is responsible for adhering to Chapter 121, Sections 121-58 and 121-59 of the Town of Amenia Zoning Law available online at www.ameniany.gov (Quick Link, Town Code) or from the Town Clerk for a fee.

The ZBA may request a site walk prior to a public hearing, however you will be notified by the Secretary prior to any site visit.

I have read the above and fully understand my responsibilities.

Carol Howland

Carol Howland

12/22/2022

Name (please print)

Signature

Date

ZONING BOARD OF APPEALS APPLICATION
Appeal/Variance Checklist

3 copies with (supplied by the applicant) of the following items are required to apply to the Zoning Board of Appeals for a variance, an interpretation of the Town of Amenia Zoning Law or a reversal of a decision by the Code Enforcement Officer. An application may not be filed until the Code Enforcement Officer has made a decision on a building or zoning permit application, except where an area variance is requested in connection with a special permit or site plan approval from the Planning Board. **Incomplete applications will not be put on the agenda.**

CHECKLIST

X Complete Appeals/Variance Application with pdf
- Disclosure of Interest Form
X Cover letter (describing the project in detail including any hardships involved)
X Agricultural Data Statement (for Use Variances only) if the property is in an agricultural district and contains a farm operation, or if the property is within 500 feet of a farm operation in an agricultural district.

N/A Building Permit Application with copies of all drawings and maps submitted to the Building Department showing the proposed building(s) and site alterations with dotted lines and showing the existing building(s) and other improvements with solid lines.

N/A Building Inspector's Denial (Decision of the Code Enforcement Officer)

X Site Plan of the property showing (within ¼ mile radius) adjacent or nearby villages or towns, county or state parks or other recreation areas, county or state roads or highways, county owned or managed streams or drainage channel and state-owned lands with public buildings, all other building locations and setbacks from other buildings and property lines noted with measurements.

X Copies of all applications, attached information, and decisions if the matter is being heard by another Board

FEES:

X Application \$350.00 (separate check made payable to Town of Amenia)
 Variance
 Interpretation
 Reversal of Decision by Code Enforcement Officer
X Escrow - \$2500 (separate check made payable to Town of Amenia)

\$ 2,850 Total (checks made payable to Town of Amenia)

ZONING BOARD OF APPEALS APPLICATION

Project

Name: Amenia Substation Expansion

Type of Application (check all that apply):

- Area Variance 121-59.D
- Use Variance 121-59.C
- Reversal or Modification of Decision of CEO 121-59.B
- Interpretation of Zoning Text or Map 121-59.A
- Other (Please explain)

Property Address: 4723 NYS Route 22
Block _____ Lot(s) _____ Zone _____
District: HR

Tax Parcel 132000-7067-20-935134-0000

Primary Contact Person:

Use/Activity Mary Steblein, PE
LaBella Associates

Address: 300 State St Suite 201, Rochester NY 14614

Telephone: (585) 295-6652

Email: msteblein@labellapc.com

Date Title Acquired:

Name of Property Owner:

New York State Electric & Gas Corporation,
represented by Carol Howland

Address: PO Box 5224, Binghamton, NY 13902

Telephone: (607) 761-5882

Email: CAHowland@nyseg.com

Name of Applicant (if different)

Address:

Telephone:

located

Email:

Relationship to owner:

Current Use(s) Electrical Substation

Proposed Use(s) and/or Structures:

Electrical Substation

Brief Description of Proposed

(attach additional sheets, if necessary)

Upgrades to existing electrical substation including a new control house, a new transformer, yard expansion, new fencing

Provisions of the Zoning Law relating to this Application, and variance(s) from zoning, if any

See separate sheet for the list

Is there an existing Special Permit, Variance, And/or Site Plan approval for your property?

Yes, granted on:

No

Conditional Site Plan approval pending

Does the property contain a farm operation

within an agricultural district or is the property boundary within 500 feet of a farm operation

Located in an agricultural district?

Yes: Within 500 feet of a farm in ag district

No:

Not Applicable:

ZONING BOARD OF APPEALS APPLICATION

1. DESCRIPTION OF PREMISES

Size of Lot Varies Varies
Width 303.1 to ft. Depth 297.9 to ft. Area 126,960 sq. ft.
 366.7 461.4

Coverage (portion of lot occupied by all structures)

Max. allowable 30 sq. ft. per cent
Existing 32 sq. ft. per cent
Proposed 38 sq. ft. per cent

Principal or Main Building

Height: Max. allowable 40 sq. ft. per cent
Existing TO BE REMOVED sq. ft. per cent
Proposed 21 sq. ft. per cent

Floor area - not required for single and two-family structures:

Maximum permitted 1,000 sq. ft. Existing 160 sq. ft. Proposed 1,248 sq. ft.

Front Yard Depth -

Minimum required 40 ft. Existing 140 ft. Proposed 335 ft.
 max 50 ft

Side Yard

Minimum required 15 ft. Existing 88 ft. Proposed 110 ft.

Smaller Side Yard

Minimum required _____ ft. Existing _____ ft. Proposed _____ ft.

Larger Side Yard

Minimum required _____ ft. Existing _____ ft. Proposed _____ ft.

Rear Yard Depth

Minimum required 15 ft. Existing 245 ft. Proposed 93 ft.

ZONING BOARD OF APPEALS APPLICATION

Accessory Structure (CANOPY) Not Applicable

Location: Front Yard _____ Side Yard _____ Rear Yard _____

Height: Existing _____ stories _____ ft.
Proposed _____ stories _____ ft.

Distance from:

Front Lot Line: Existing _____ ft. Proposed _____ ft.
Side Lot Line: Existing _____ ft. Proposed _____ ft.
Rear Lot Line: Existing _____ ft. Proposed _____ ft.
Main Building: Existing _____ ft. Proposed _____ ft.
Other Accessory
Structures: Existing _____ ft. Proposed _____ ft.

2. ATTACHED, MULTIPLE AND JOINT OCCUPANCY BUILDINGS ONLY

Not Applicable

Useable Open Space:

Required:	Width _____ ft.	Depth _____ ft.	Area _____ ft.
Existing:	Width _____ ft.	Depth _____ ft.	Area _____ ft.
Proposed:	Width _____ ft.	Depth _____ ft.	Area _____ ft.

Number of habitable rooms in each dwelling unit (list each unit separately)

Not Applicable

ZONING BOARD OF APPEALS APPLICATION

1. **SPECIFIC RELIEF REQUESTED** (Complete where applicable, attach additional sheets if necessary)

A. Interpretation of the Zoning Law is requested because:

Not Applicable

B. REVERSAL OR MODIFICATION of a decision of the Code Enforcement Officer is requested because:

Not Applicable

C. A USE VARIANCE is requested for these reasons (all blanks must be filled in)

Not Applicable

1. The applicant cannot realize a reasonable return from the property for any use allowed by the Zoning Law because:

The property was acquired in the year _____ for \$ _____. The applicant has invested \$ _____ in the property since that time, and the largest return than can be expected from using the property as a _____ (most valuable use allowed by the Zoning Law) is \$ _____ per year. The value of the property under the current Zoning Law, as determined by competent financial evidence submitted herewith, is \$ _____. The expected return and/or property value from other uses allowed by the Zoning Law ranges from \$ _____ to \$ _____. (Please attach a list of all permitted and special permit uses and their probable return and value).

2. The hardship relating to this property is unique, and does not apply to a substantial portion of the district or neighborhood because:

3. The variance will not alter the essential character of the neighborhood because:

4. The hardship is not self-created because:

ZONING BOARD OF APPEALS APPLICATION

D. AN AREA VARIANCE is requested for these reasons:

1. If the variance is granted, the applicant will have the following benefit:

The substation will meet the applicable NYSEG standards and meet safety standards per the National Electrical Safety Code (NESC)

2. There will not be an undesirable change of the neighborhood or a detriment to nearby properties because:

The property is currently used as an electrical substation, therefore, the use will not be changed. The control house and equipment will be set back farther from the road than the current building and equipment. The substation is being modified to respond to increased load and therefore will be a benefit to the nearby properties.

3. The applicant cannot attain the benefit of having the variance by any other method because:

The existing substation must stay energized while the proposed construction occurs. Given the property boundaries, the expansion must occur. The building will contain equipment that must be located in an enclosed facility, therefore the building size cannot be reduced. While the fence height is increasing, it will be in accordance with recommendations from the NESC and will keep people from entering the substation.

4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district because:

The property is currently used as an electrical substation and we believe it is preferable to expand this substation rather than construct a new substation on an undeveloped site. The physical or environmental conditions will not be impacted. New lighting is proposed but it will not spill beyond the substation yard. Stormwater will be managed on-site.

PREVIOUS APPEAL

A previous appeal _____ has X has not been made with respect to this decision of the Building Inspector or with respect to this property.

Such an appeal(s) was (were) in the form of:

- A requested interpretation _____ Appeal No. _____, dated _____
- A request for variance _____ Appeal No. _____, dated _____

ZONING BOARD OF APPEALS

Date

NOTARY PUBLIC

State of New York

County of _____

Sworn on this _____ day of _____.



TOWN OF AMENIA

4988 Route 22, AMENIA, NY 12501
(845) 373-8118, Ext. 122-124 Fax (845) 373-9147

ESCROW FOR PROFESSIONAL SERVICES

Date: 12/21/2022

Applicant: New York State Electric & Gas Corporation (NYSEG)

Project Name: Amenia Substation Expansion

Location: 4723 State Route 22, Amenia, NY

Description of Project: Expansion and upgrade of existing electrical substation, including replacement of control house, transformer, and fencing with substation yard expansion.

Amount Requested: \$ \$2500.00 Minimum Balance: \$ \$500.00

The Town of Amenia Zoning Board of Appeals Board is currently reviewing your application for area variances. This Board is requesting that you place in escrow sufficient funds to be used to defray reasonable costs incurred by the Town for professional services and inspections required throughout the entire review process, as authorized by the Town Code of the Town of Amenia.

Based on estimated review costs, you are requested to deposit \$2500.00 in the escrow account. Should the balance of this account fall below \$500.00, you will be notified and requested to replenish the account to the requested amount.

The escrow account does not provide for the other development, application and filing fees set forth in the Town of Amenia Town Code and Schedule of Fees. The applicant must make timely, direct payment of those other fees as a prerequisite to continued review of the application.

All parties agree to the terms and conditions stated herein.

Carol Howland

Town of Amenia Zoning Board of Appeals Board

Applicant



TOWN OF AMENIA

4988 Route 22, AMENIA, NY 12501
TEL: 845-373-8860, x106 FAX: 845-373-9147

AGRICULTURAL DATA STATEMENT

Applicant Name: New York State Electric & Gas Corporation (NYSEG)

Address: 4723 NYS Route 22
Amenia NY 12501

Application Type (check all that apply)

<input type="checkbox"/>	Subdivision
<input checked="" type="checkbox"/>	Site Plan
<input type="checkbox"/>	Special Use Permit
<input checked="" type="checkbox"/>	Zoning Board of Appeals (Area Variances)

Does the application include land that contains a farm operation* within an Agricultural District? Yes No

Does the application include lands within 500 feet of a farm operation* within an Agricultural District? Yes No

If you answered yes to any of the two questions above, provide the name and address of the owners of land containing the farm operation below and attach a tax or other map to this sheet with the farm operation indicated, along with the Section, Block and Lot number for the farm operation.

Clare Michael LLC - Parcel Address 653-679 Old Route 22 Amenia 12501-0000

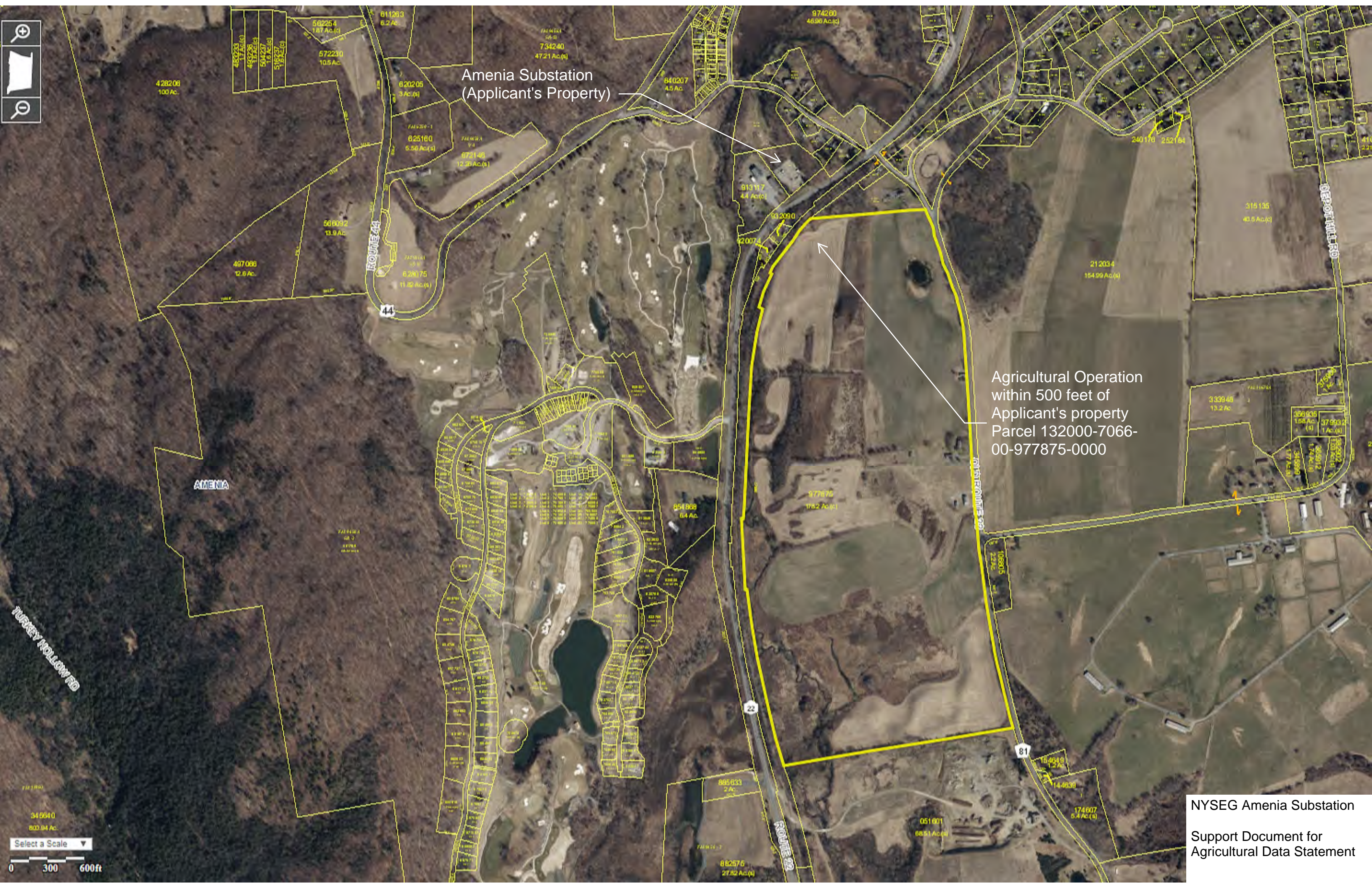
Owner's Address 1 N Franklin Chicago IL 606060000

Parcel No. 132000-7066-00-977875-0000

Provide a description of your project and attach a separate map showing the entire property that is included in your application.

Substation improvements within an existing substation property include: Replacing the existing control house with a new control house (expanding the yard to the north) removing an existing transformer and installing a new transformer, installaing new fence, and

*Farm operation means the land used in agricultural production, farm buildings, equipment and farm residence buildings.



Amenia Substation
(Applicant's Property)

Agricultural Operation
within 500 feet of
Applicant's property
Parcel 132000-7066-
00-977875-0000



TOWN OF AMENIA

4988 Route 22, AMENIA, NY 12501
(845) 373-8860 x122-124
Fax (845) 373-9147

PLANNING BOARD MEETING WEDNESDAY, JANUARY 27, 2021

PRESENT: Robert Boyles, Jr. @ Town Hall
Tony Robustelli @ Town Hall
Leo Blackman VIA ZOOM
Walter Brett VIA ZOOM
John Stefanopoulos @ Town Hall

ABSENT: Matthew Deister
Patrick Lawlor

CONSULTANTS: John Andrews- Engineer Consultant VIA ZOOM
Dave Everett – Attorney Consultant VIA ZOOM
Mary Steblein – NYSEG VIA ZOOM
Tammy Kelley-NYSEG VIA ZOOM
Brian Bury – NYSEG VIA ZOOM

The meeting was held in The Planning/Zoning Board meeting room on the second floor at the Town Hall. Social distancing regulations and mask wearing took place at the meeting. Chairman Rob Boyles opened the meeting VIA ZOOM at 7:05pm. The Pledge of Allegiance was recited and the exits were announced in case of emergency.

On the agenda for the meeting was The **Application from NYSEG for the Substation Expansion. (Revisions)** Chairman Boyles invited John Andrews, engineer, to speak about the project. NYSEG's resubmittal to the board addresses all of John's comments from the previous submittals. His comment letter from January 27, 2021 indicates a couple of things that still need attention. Some things require additional notes. They provided additional information regarding lighting. That raises two issues; they have work lights mounted at 25 feet and the zoning requirement is 20 feet. Even though lights are not normally on, when they are turned on, they still exceed the height. And some of these lights are actually mounted on "lightning masts" of 60 feet in height. It is unclear as to whether there are 3 or 4 of them. Again, these masts don't meet the zoning requirements. The height requirement in this zone is 40 feet. They exceed the allowable height and don't meet the height exceptions identified in the code. So, two other variances

will be necessary from the ZBA. The height of the work lights at 25 feet in height AND the “lightning masts” of 60 feet in height. Neither one is a major issue. He says some photographs of the current installation show no 60 foot towers there now, these are new. They are to cover the lightning protection of the new equipment says Tammy Kelley of NYSEG. John says they should be more clearly labelled and defined on the Site Plan. Other than that, everything that was identified on the last comment memo has been done. There are couple of things that require some additional notes, as their commentary says “will adjust as necessary during construction”. The plan set will have to acknowledge that as well. This entails the sequence of work for the SWPPP and adjusting the silk fence at the slopes. The project is ready to move forward. Tony questions the lights...do they stay on all night or only in an emergency? There are two types of lights identified on the site; perimeter lights mounted 16 foot above the ground (more standard lights for security purposes), and the work lights mounted higher up; understood to be turned on only when they are working in that vicinity(an as needed light only). (Confirmed by Mary Steblein from NYSEG.) Chairman Boyles invites Dave Everett to speak. No comment memo for this time. Things from previous memo have been addressed. Board decided at last meeting not to have a Public Hearing.

Dutchess County Planning & Development comments for referral were returned today 1/27/21. It was deemed a “Matter of local concern”. They had no issues or concerns. He notes that additional variances will be needed from the ZBA (a total of 6). It is recommended that, since there are so many variances, that the applicant does seek out the decision of the ZBA for the granting of these and then return to the Planning Board for final approval. The ZBA is legally obligated to only allow the minimum variance necessary so, as part of their review of the variances, they may require site plan changes, or not, but is conceivable. If they do, and those are acceptable to the applicant, then those changes can come back to the Planning Board to act on and approve after review. John suggests sending a memo to the ZBA from the Planning Board, stating that the Planning Board’s review sees this as the only way to make it happen. Unless you have major concerns, we recommend you look favorably on granting them the variances. Judy will make sure that memo goes to the ZBA chairman and members. Walter Brett has a question about the lighting. A mention was made by John that there was going to be lighting 24/7. Walter says there is no lighting at night at the site now. He thought that there was only going to be lighting when work was in progress. John says he misspoke. He meant to say lights at night which is standard perimeter lighting for security purposes.. Walter was concerned .NYSEG rep says this is a security improvement. Walter would like to know if the lighting at night will be aggressive. Will neighbors be affected by this? John answers by saying that most of the lighting is mostly focused inward. There will not be a lot of glare offsite.

And the site is tucked back off the road and should not affect traffic flow. Leo questions if the incoming wires will be increased at this time by NYSEG. Tammy Kelley says that will remain the same at this time. There may be a change in the future. The amount of exposed equipment at the site will now be less.

Motion was made, seconded and carried to allow this project with NYSEG to move forward to get ZBA variance approvals with our recommendation to do so.

Other Matters on the agenda were to approve the Minutes of the January 13, 2021 meeting. A motion was made, seconded and carried to approve the minutes.

The meeting was adjourned by motion made by Tony Robustelli and seconded by John Stefanopoulos at 7:20 pm.

Our next meeting will be February 10, 2021 at 7pm

Respectfully Submitted,

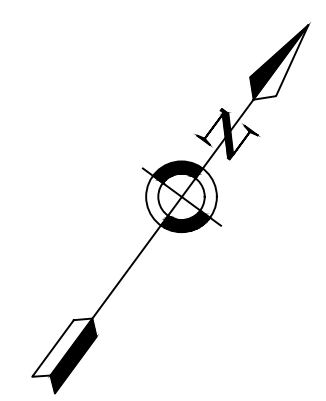
Judith Westfall

Planning Board Secretary

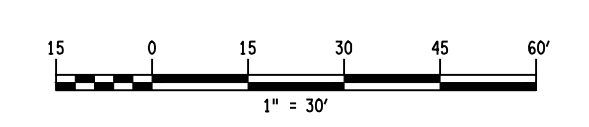
The foregoing minutes are taken from meeting of the Planning Board held on January 27, 2021 and are not to be construed as the official minutes until approved.

_____ Approved as read

_____ Approved with: additions, corrections and deletions



LEGEND	
	PROPERTY LINE
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED OVERHEAD ELECTRIC LINE
	SETBACK
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	PROPOSED IMPERVIOUS AREA
	PROPOSED LIGHTNING MAST
	AREA OF DEMOLITION
	PL-X PERIMETER LIGHT - HOLOPHANE MONGOOSE 250W HPS, OR APPROVED EQUAL.
	WL-X WORK LIGHT - HOLOPHANE PREDATOR 250W HPS OR APPROVED EQUAL.
	LP-X POLE
	B-X BUILDING MOUNTED EXTERIOR LIGHT



It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer or land surveyor is altered; the altering architect, engineer or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

AVANGRID ENGINEERING CONFIDENTIAL, PROPRIETARY and TRADE SECRET INFORMATION Property of AVANGRID, Networks, Inc.						ZONING PLAN SHEET 1 OF 1 AMENIA SUBSTATION EXPANSION DUTCHESS	
DR. MBS CK. MBS APP. MBS				SCALE: AS SHOWN FILE: 2150058.192 NO.		REV.	
1	12/2022	MBS	FOR ZONING BOARD REVIEW				
REV.	DATE	BY	DESCRIPTION	APP.	DATE:	12/2022	

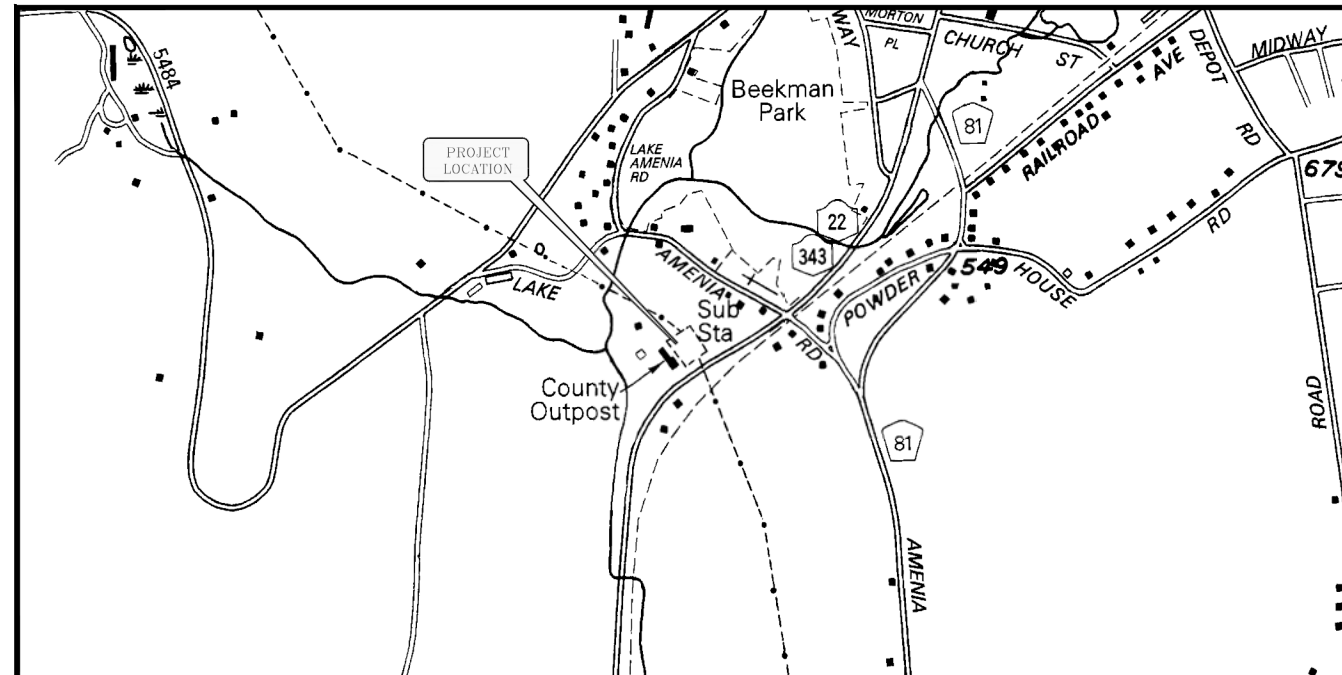
AMENIA SUBSTATION EXPANSION

4723 ROUTE 22
AMENIA, NY 12501

PROJECT INFORMATION TABLE

	NAME	ADDRESS	CONTACT PHONE
APPLICANT	NEW YORK STATE ELECTRIC & GAS CORPORATION (NYSEG)	18 LINK DRIVE, BINGHAMTON, NY 13902	CAROL HOWLAND (607) 761-5882
AGENT/ENGINEER	LABELLA ASSOCIATES, DPC	300 STATE STREET, ROCHESTER, NY 14614	MARY STEBLEIN, PE (585) 454-6110

ZONING TABLE			
	REQUIREMENT	EXISTING	PROPOSED
ZONING		HR: HAMLET RESIDENTIAL DISTRICT	HR: HAMLET RESIDENTIAL DISTRICT
LOT SIZE, S.F. / AC.	MIN. 40,000 / 0.92	126,958.7 / 2.9	126,958.7 / 2.9
FRONT YARD SETBACK, FT.	MIN. 40 / MAX. 50	140 (BLDG) / 74.5 (FENCE)	335 (BLDG) / 74.0 (FENCE)
SIDE YARD SETBACK, FT.	MIN. 15	88	110
REAR YARD SETBACK, FT.	MIN. 15	245	93
IMPERVIOUS SURFACE COVERAGE, %	MAX. 30	32	38
HEIGHT, FT.	MAX. 40*	EXISTING TO BE REMOVED	21
FOOTPRINT FOR NONRESIDENTIAL STRUCTURES, S.F.	MAX. 1,000	160	1248



LOCATION MAP
N.T.S.

DRAWING INDEX

- C-101 EXISTING CONDITIONS PLAN
- C-102 DEMOLITION PLAN
- C-201 SITE AND UTILITY PLAN
- C-301 GRADING AND EROSION CONTROL PLAN
- C-401 LIGHTING PLAN
- C-501 FENCE DETAILS
- C-502 GRADING DETAILS
- C-503 DRAINAGE DETAILS
- C-504 DRAINAGE DETAILS

PER RESOLUTION #2 FOR 2021, MARCH 15, 2021, THE FOLLOWING VARIANCES WERE GRANTED:
 (1) A TWO HUNDRED EIGHTY FIVE (285) FOOT VARIANCE TO ALLOW A SETBACK IN THE HR DISTRICT IS FIFTY (50) FEET AND THE CURRENT SETBACK IS ONE HUNDRED FORTY (140) FEET; (2) A TWENTY-FOUR (24) FOOT VARIANCE TO ALLOW A SETBACK OF SEVENTY-FOUR (74) FEET FOR A REPLACEMENT FENCE, WHERE THE MAXIMUM FRONT YARD SETBACK IN THE HR DISTRICT IS FIFTY (50) FEET AND THE CURRENT FENCE SETBACK IS SEVENTY-FOUR AND 1/2 FEET (74.5) FEET; (3) A VARIANCE TO ALLOW 38% IMPERVIOUS SURFACE COVERAGE WHERE THE MAXIMUM IMPERVIOUS SURFACE COVERAGE IN THE HR DISTRICT IS 30% AND THE CURRENT IMPERVIOUS SURFACE COVERAGE IS 32%; (4) A TWO HUNDRED FORTY EIGHT (248) FOOT VARIANCE TO ALLOW A ONE THOUSAND TWO HUNDRED FORTY EIGHT (1,248) SQUARE FOOT FOOTPRINT WHERE THE MAXIMUM FOOTPRINT FOR NONRESIDENTIAL STRUCTURES IN THE HR DISTRICT IS ONE THOUSAND (1,000) SQUARE FEET; (5) A FIVE (5) FOOT VARIANCE TO ALLOW A TWENTY-FIVE (25) FOOT WORK LIGHT MOUNTING HEIGHT WHERE THE MAXIMUM ALLOWABLE EXTERIOR LIGHTING FIXTURE HEIGHT IS TWENTY (20) FEET; AND (6) A TWENTY (20) FOOT VARIANCE TO ALLOW A SIXTY (60) FOOT LIGHTING MAST HEIGHT WHERE THE MAXIMUM ALLOWABLE HEIGHT IN THE HR DISTRICT IS FORTY (40) FEET.

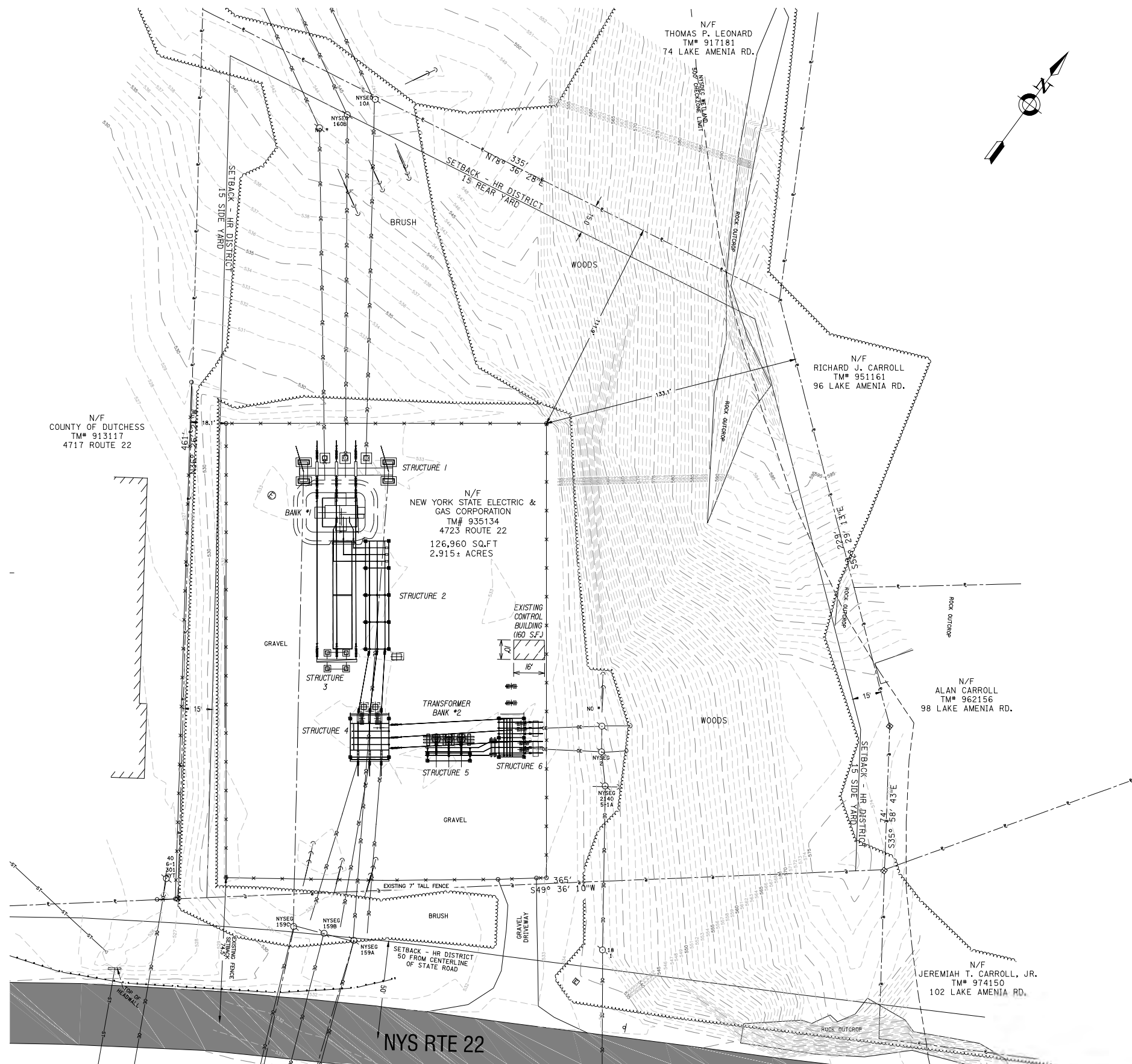
NEW YORK STATE ELECTRIC AND GAS (NYSEG)

18 LINK DRIVE
BINGHAMTON, NY 13904
PROJECT NO: 2150058.192

SEPTEMBER 2018
REVISED NOVEMBER 2020
REVISED JANUARY 2021
REVISED APRIL 2021

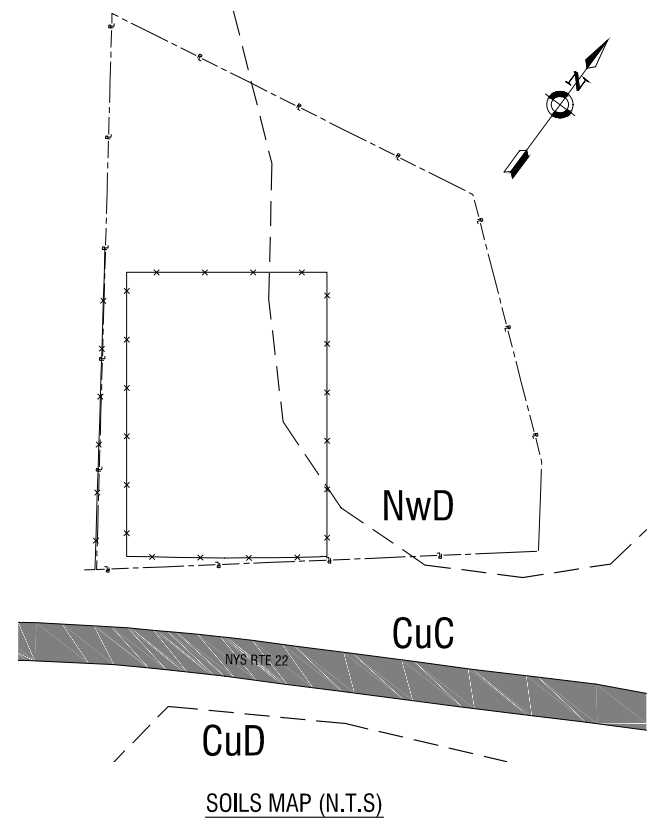


300 State Street, Suite 201
Rochester, NY 14614
585-454-6110
labellapc.com



- LEGEND**
- PROPERTY LINE
 - - - CONTOUR, MINOR
 - - - CONTOUR, MAJOR
 - x-x- FENCE
 - OVERHEAD ELECTRIC LINE
 - ST- STORM SEWER

- EXISTING EQUIPMENT KEY**
- STRUCTURE 1 COPPER BUS BAR ON LOW SIDE OF BANK #1
 - STRUCTURE 2 3-46KV LINE VTs, BUS AND INSULATORS, FUSE (F14), 46KV CIRCUIT BREAKER(1B-32), DISCONNECTOR (R12)
 - STRUCTURE 3 TRANSFORMER, STRUCTURE, DISCONNECT SWITCHES (B2-34, -36, -37, -33, -34), BUS AND INSULATORS
 - STRUCTURE 4 STRUCTURE, BUS, 1-VT FOR SYNC CHECK, FUSE (P3-33), DISCONNECTOR (R15)
 - STRUCTURE 5 TRANSFORMER BANK #2
 - STRUCTURE 6 1-4.8 KV CAP BANK (C1-32), 2-FUSES (C1-33, P4-33), 3-VTs, 2-4.8KV CIRCUIT BREAKERS (15332,15432), STRUCTURE, BUS, INSULATORS, DISCONNECTORS (R21,R27,R28,R29), 4.8KV REGULATORS (4), STRUCTURES, BUS, INSULATORS, FUSE (S1-33), STATION SERVICE TRANSFORMER



CuC - COPAKE GRAVELLY SILT LOAM, ROLLING - RATING: A
 CuD - COPAKE GRAVELLY SILT LOAM, HILLY - RATING: A
 NwD - NASSAU-CARDIGAN COMPLEX, HILLY, VERY ROCKY - RATING: D

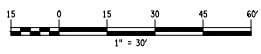
N/F COUNTY OF DUTCHESS
 TM# 913117
 4717 ROUTE 22

N/F NEW YORK STATE ELECTRIC &
 GAS CORPORATION
 TM# 935134
 4723 ROUTE 22
 126,960 SQ.FT
 2.915± ACRES

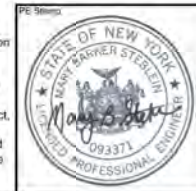
N/F RICHARD J. CARROLL
 TM# 951161
 96 LAKE AMENIA RD.

N/F ALAN CARROLL
 TM# 962156
 98 LAKE AMENIA RD.

N/F JEREMIAH T. CARROLL, JR.
 TM# 974150
 102 LAKE AMENIA RD.



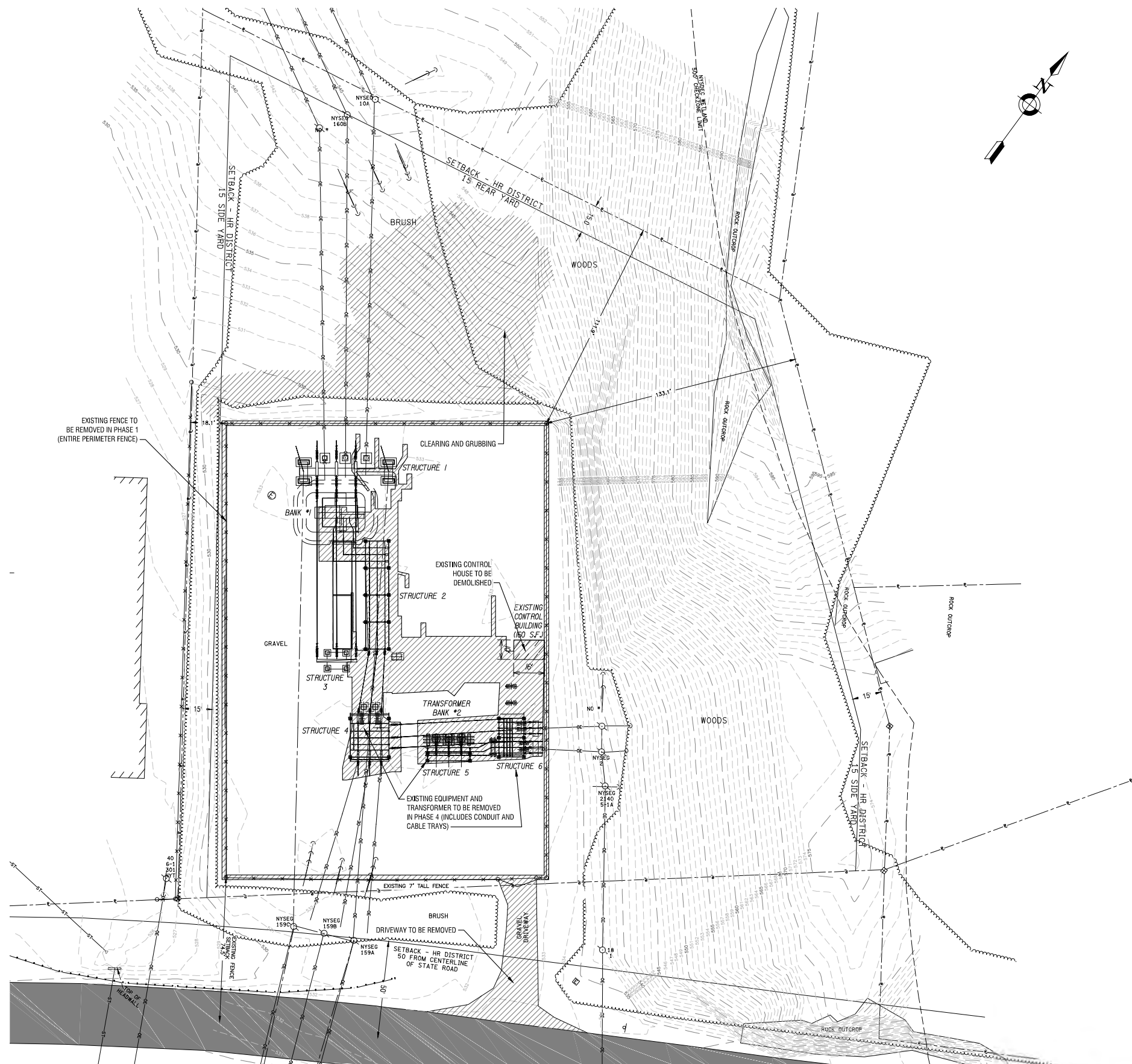
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AVANGRID ENGINEERING				NYSEG	
CONFIDENTIAL, PROPRIETARY and TRADE SECRET INFORMATION				AVANGRID	
REV	DATE	BY	DESCRIPTION	APP.	DATE
2	1/1/2021	MBS	PLANNING BOARD REVISIONS		
1	9/2020	MBS	PLANNING BOARD REVISIONS		

EXISTING CONDITIONS PLAN		
SHEET 1 OF 1		
AMENIA SUBSTATION EXPANSION DUTCHESS		
DR.	SCALE:	FILE:
KJW	AS SHOWN	2150058.192
CK.	NO.	REV.
MBS		
APP.	DATE:	
MBS	9/2018	

PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____



LEGEND

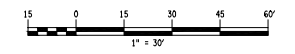
- PROPERTY LINE
- - - CONTOUR, MINOR
- - - CONTOUR, MAJOR
- x-x- FENCE
- OVERHEAD ELECTRIC LINE
- WATER MAIN
- - - CULVERT
- ▨ TO BE REMOVED

OVERALL PHASING PLAN/WORK SEQUENCE

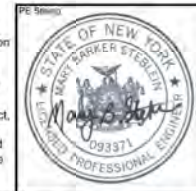
WORK PHASE & NAME		WORK TO BE COMPLETED
PHASE 1 1 WEEK	DEMOLITION	REMOVE PERIMETER FENCE & VEHICLE GATE. PROVIDE TEMPORARY SITE SECURITY BARRIERS.
PHASE 2 16 WEEKS	SITE REBUILD - STEP 1	GRADING IN EXPANSION AREA (SEE SHEET C-301) INSTALL NEW FENCE AND GATE (SEE SHEET C-201) INSTALL FOUNDATIONS FOR 46KV AND 13.2KV YARD EQUIPMENT, LIGHTNING MAST, TRANSFORMER WITH OIL CONTAINMENT, CONTROL BUILDING (C-201) INSTALL CABLE TRENCHING AND DRAINAGE SYSTEM (C-201) INSTALL MANHOLES, DIRECT BURIED CONDUIT, PERIMETER ROAD (C-201) INSTALL CONTROL BUILDING, SOME 46KV AND 13.2KV EQUIPMENT, LIGHTNING PROTECTION, SWITCHGEAR, INSULATORS, CONDUCTOR, FITTINGS, LIGHTNING MASTS, CABLES (C-201) TEST AND COMMISSION
PHASE 3 2 WEEKS	OUTAGE #1	OUTAGE TO MAKE CONNECTIONS (NO OUTAGE TO CUSTOMERS - ELECTRICAL LOAD IS REDIRECTED TO A SURROUNDING LINE) REMOVE CONNECTIONS, REPLACE BUS BAR, INSTALL REMAINING 46KV STRUCTURES, ENERGIZE POWER TRANSFORMER AND GIS SWITCHGEAR
PHASE 4 4 WEEKS	OUTAGE #2	OUTAGE TO REMOVE EXISTING SUBSTATION AND CONNECT LINE 805 (NO OUTAGE TO CUSTOMERS) REMOVE EQUIPMENT AND STRUCTURES FROM EXISTING SUBSTATION, INCLUDING CONDUITS AND CABLE TRENCHES, AS SEEN ON THIS PLAN
PHASE 5 6 WEEKS	SITE REBUILD - STEP 2	COMPLETE REMAINDER OF EQUIPMENT FOUNDATIONS, DRAINAGE SYSTEM, CABLE TRENCHING. INSTALL REMAINING EQUIPMENT, DIRECT BURIED CONDUITS, CONDUCTORS, INSULATORS (THIS APPLIES TO AREAS WHERE DEMOLITION OCCURRED IN PHASE 4) PERFORM TESTING AND COMMISSIONING ENERGIZE 46KV CIRCUIT

- NOTES:**
- EROSION AND SEDIMENT CONTROL PRACTICES, STABILIZATION, AND RESTORATION ADJUSTMENTS MAY BE REQUIRED TO SUIT ACTUAL CONDITIONS DURING CONSTRUCTION.
 - SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - UNLESS OTHERWISE INDICATED ON THE PLANS OR DIRECTED BY THE ARCHITECT/ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING FROM DAMAGE ALL TREES, SHRUBS AND PLANTS IN THE VICINITY OF THE PROPOSED WORK.
 - WORK ASSOCIATED WITH THIS CONTRACT WILL OCCUR AT AN ACTIVE AND FUNCTIONAL FACILITY. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OPERATIONS OF THE FACILITY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE A SAFE WORK SITE AND TO PROTECT THE PUBLIC, VISITORS AND EMPLOYEES FROM HARM AS A RESULT OF HIS CONSTRUCTION ACTIVITIES.
 - FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROTECT ALL ON-SITE, ADJACENT AND/OR DOWNSTREAM STORM/SANITARY SEWERS, AND/OR OTHER WATER COURSES FROM CONTAMINATION BY WATER BORNE SILTS, SEDIMENTS, FUELS, SOLVENTS, LUBRICANTS OR OTHER POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.

PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____



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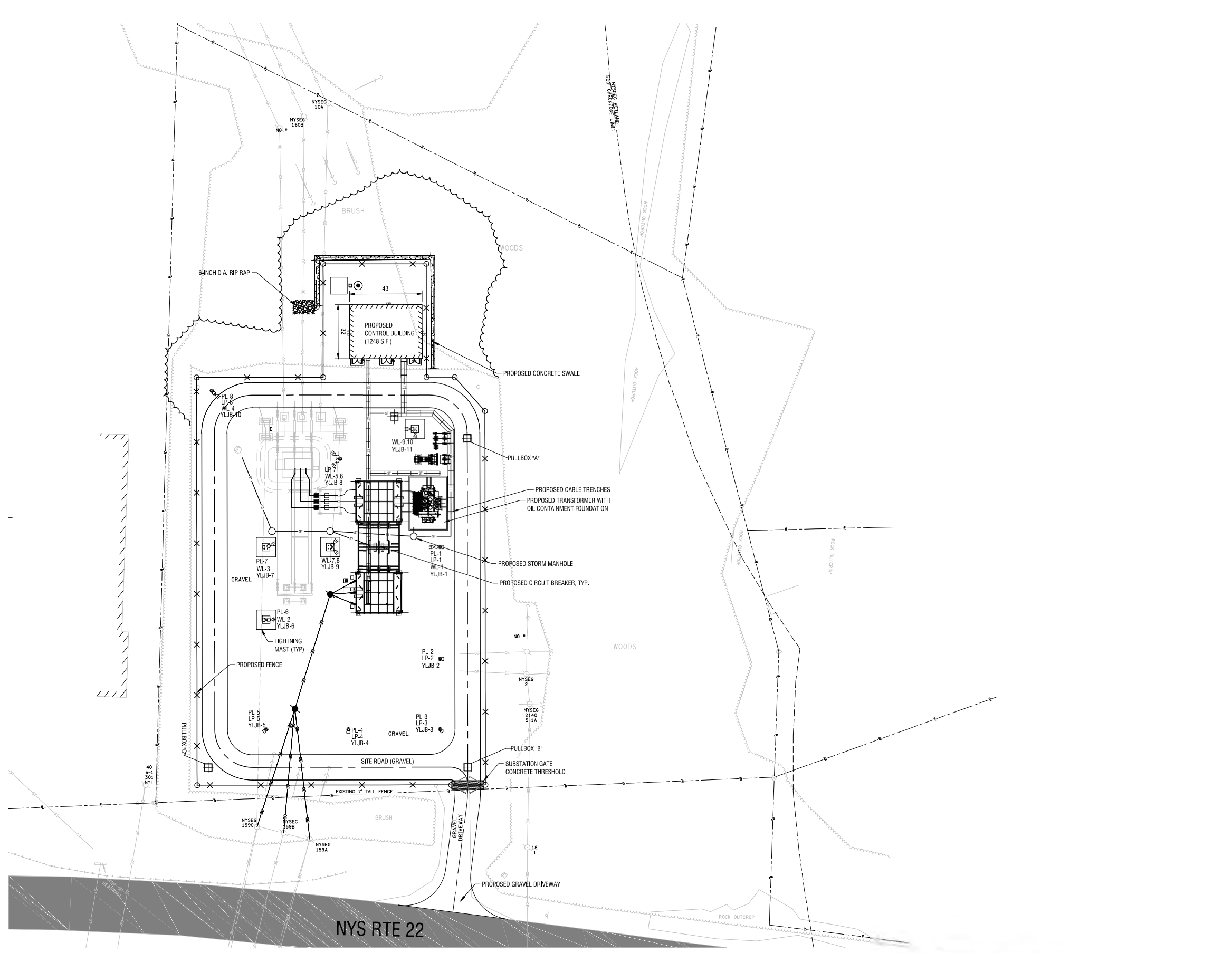
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REV	DATE	BY	DESCRIPTION
3	4/2021	MRK	PLANNING BOARD REVISIONS
2	1/2021	MBS	PLANNING BOARD REVISIONS
1	9/2020	MBS	PLANNING BOARD REVISIONS



DEMOLITION PLAN SHEET 1 OF 1 AMENIA SUBSTATION EXPANSION DUTCHESS	
DR. K/JW	SCALE: AS SHOWN FILE: 2150058.192
CK. MBS	NO.
APP. MBS	REV.
APP. DATE: 9/2018	C-102 1

ANSI D CADD Drawing, DO NOT REVISE MANUALLY.

I:\PROJECTS\1\Projects\AM-2\iberrada USA\2150058 - Elec. Eng. Services\2150058.192 - Amenia Permits & Approvals\Drawings\Civil\AutoCAD\C-101 Ex Conditions Plan.dwg PRINTED ON: 5/3/2021 9:02:26 AM



LEGEND

- PROPERTY LINE
- - - EXISTING FENCE
- PROPOSED FENCE
- - - EXISTING OVERHEAD ELECTRIC LINE
- - - PROPOSED OVERHEAD ELECTRIC LINE
- - - EXISTING WATER MAIN
- - - EXISTING DRAINAGE
- - - PROPOSED DRAINAGE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED UTILITY POLE
- - - LIMIT OF DISTURBANCE
- PL-X PERIMETER LIGHT - HOLOPHANE MONGOOSE 250W HPS, OR APPROVED EQUAL.
- WL-X WORK LIGHT - HOLOPHANE PREDATOR 250W HPS OR APPROVED EQUAL.
- LP-X POLE
- B-X BUILDING MOUNTED EXTERIOR LIGHT

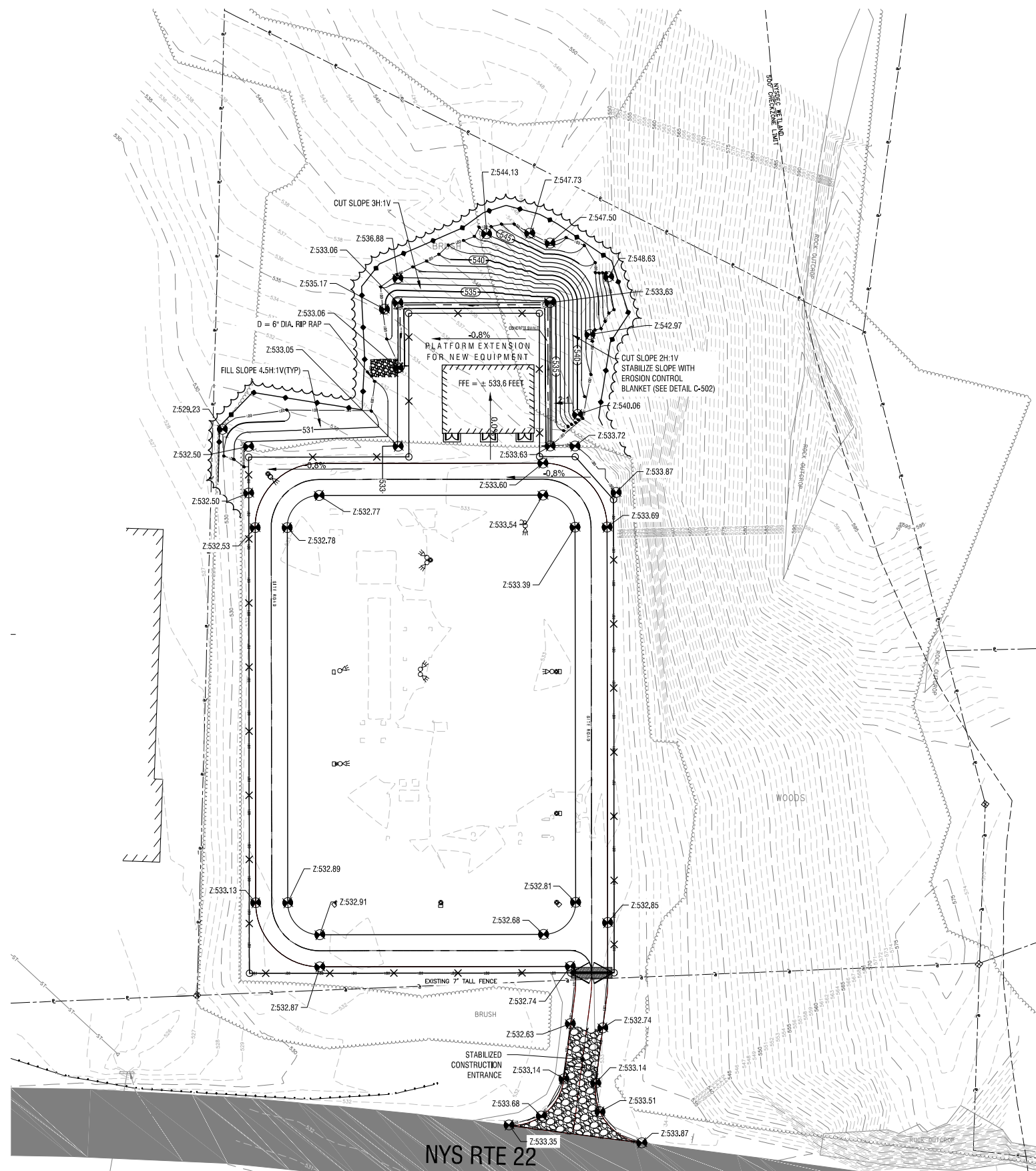
PLANNING BOARD CHAIRMAN'S SIGNATURE DATE

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2	5/2021	MBS	PLANNING BOARD REVISIONS	DR.	K/JW
1	9/2020	MBS	PLANNING BOARD REVISIONS	CK.	MBS
APP.	MBS	DATE:	9/2018	APP.	DATE:

SITE AND UTILITY PLAN SHEET 1 OF 1 AMENIA SUBSTATION EXPANSION DUTCHESS		SCALE: AS SHOWN FILE: 2150058.192 NO.	REV.
C-201	1		



LEGEND

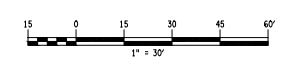
- PROPERTY LINE
- x-x- PROPOSED FENCE
- - - - - PROPOSED CONTOUR, MAJOR
- - - - - PROPOSED CONTOUR, MINOR
- - - - - EXISTING CONTOUR, MAJOR
- - - - - EXISTING CONTOUR, MINOR
- o-o- SILT FENCE
- - - - - LIMIT OF DISTURBANCE
- FINAL GRADE POINT

- GENERAL NOTES**
- TOPOGRAPHIC SURVEY PREPARED BY KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC AS PROJECT # 0179.14716A.
 - TOTAL AREA INSIDE THE PROPERTY = 126,958.7 S.F.
 - HORIZONTAL DATUM IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM, EASTERN ZONE, NAD 83.
 - VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988.
 - THE CONTRACTOR SHALL CONDUCT ACTIVITIES TO MINIMIZE DAMAGE TO OR INTERFERENCE WITH ADJACENT STRUCTURES AND OPERATIONS. ANY DAMAGE TO PROPERTY CAUSED BY CONTRACTOR NEGLIGENCE WILL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL LEAVE THE PREMISES IN EQUAL OR BETTER CONDITION THAN THE CONDITION FOUND AT THE BEGINNING OF THE PROJECT. THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING AND SHALL REMOVE ALL REFUSE AND CONSTRUCTION DEBRIS FROM THE SITE. FAILURE TO DO SO WILL RESULT IN THE OWNER HIRING A THIRD PARTY TO CLEAN UP OR PERFORM REPAIRS AT THE EXPENSE OF THE CONTRACTOR.
 - INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. INSTALL ADDITIONAL MEASURES AS REQUIRED TO MAINTAIN WATER QUALITY AND PREVENT EROSION THROUGHOUT CONSTRUCTION, BASED ON ACTUAL CONDITIONS. INSTALL ALL EROSION AND SEDIMENT CONTROL "BLUEBOOK" VERSION 11 / 2016 AND MANUFACTURERS SPECIFICATIONS.

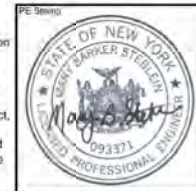
- EARTHWORK NOTES**
- ALL EXCAVATIONS, SHORING AND BRACING SHALL CONFORM TO OSHA REQUIREMENTS (29 CFR 1926).
 - UNLESS OTHERWISE APPROVED THE MATERIAL SHALL BE DEPOSITED AND SPREAD UPON COMPACTED MATERIAL IN FULL WIDTH LAYERS NOT MORE THAN 8 INCHES IN DEPTH, LOOSE MEASURE. CLAY OR LOAM SOILS SHALL BE COMPACTED BY USE OF SHEEPS FOOT OR TAMPING TYPE ROLLER HAVING A MINIMUM WEIGHT ON EACH TAMPER, UNDER WORKING CONDITIONS, OF 250 PSI OF CROSS SECTIONAL BEARING AREA. SAND OR GRAVEL SOILS SHALL BE COMPACTED BY PNEUMATIC TIRED EQUIPMENT AND, IF NECESSARY, BY THE ADDITION OF WATER. A COMBINATION OF THE ABOVE OR OTHER METHODS CAPABLE OF PRODUCING EQUIVALENT RESULTS MAY BE USED. THE COMPACTING OPERATIONS SHALL BE CONTINUED UNTIL EACH LAYER IS COMPACTED TO ITS FULL DEPTH AND WIDTH.
 - WITH APPROVAL, THE CONTRACTOR MAY PLACE LAYERS IN EXCESS OF 8 INCHES AND LESS THAN 24 INCHES, LOOSE MEASURE, PROVIDING THE SPECIFIED COMPACTION REQUIREMENTS ARE OBTAINED AND THE CONTRACTOR AGREES TO MAKE NECESSARY TEST EXCAVATION FOR THE RESIDENT TO DETERMINE DENSITY.
 - THE CONTRACTOR WILL BE REQUIRED TO DEMONSTRATE THAT THE COMPACTION EQUIPMENT AND METHODS ARE OBTAINING SATISFACTORY COMPACTION.
 - SATISFACTORY COMPACTION FOR THE PURPOSE OF THE DEMONSTRATION IS DEFINED AS NOT LESS THAN 90% OF THE MAXIMUM DENSITY. THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH AASHTO T180, METHOD C OR D, CORRECTING FOR OVERSIZE PARTICLES ACCORDING TO AASHTO T 224 EXCEPT MIXTURES MAY HAVE 40 PERCENT OR LESS RETAINED ON THE 3/4 INCH SIEVE. FIELD DENSITY TESTS WILL BE PERFORMED IN ACCORDANCE WITH AASHTO T 310.
 - COMPACTION OF EACH LAYER OF BASE OR SUBBASE MATERIAL THAT EXCEEDS 40 PERCENT RETAINED ON THE 3/4 INCH SIEVE SHALL CONTINUE UNTIL A DENSITY OF NOT LESS THAN 98% OF THE MAXIMUM DENSITY HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF THE LAYER.
 - CONTAMINATED SOIL IS NOT EXPECTED TO BE ENCOUNTERED. IF CONTAMINATED SOIL IS ENCOUNTERED, IMMEDIATELY NOTIFY THE NYSEG ENGINEER.
 - UNDERGROUND UTILITY LINES, TANKS, AND OR STRUCTURES ARE NOT SHOWN. PRIOR TO WORK, CONTRACTOR SHALL PROTECT UTILITIES FROM DAMAGE AND SHALL NOT DISTURB UNDERGROUND UTILITIES TO REMAIN. IN THE EVENT THAT A UTILITY IS DAMAGED AS A RESULT OF THE CONTRACTOR'S WORK, THE DAMAGED UTILITY SHALL BE REPAIRED BY THE CONTRACTOR TO ITS PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO THE OWNER. SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONTACT NYSEG IMMEDIATELY FOR DIRECTION.
 - SOIL MATERIAL SHALL BE FREE OF COMBUSTIBLE, ORGANIC DEBRIS AND FROZEN MATERIALS AS WELL AS ROOTS, TOPSOIL, LOAM, TRASH, SNOW, ICE, WOOD AND OTHER OBJECTIONABLE MATERIALS.
 - SEE SWALE INVERTS ON PLAN C-503. SWALE WIDTH GRADUALLY INCREASING FROM TWO (2) FEET AT THE BEGINNING OF THE ALIGNMENT, TO THREE (3) FEET AT THE END, WHEN ENCOUNTERING RIP RAP DEVICE.
 - PROVIDE EROSION CONTROL BLANKET FOR RESTORATION OF STEEP SLOPES (SEE DETAIL ON C-502)

- SAFETY NOTES**
- WORK WILL BE CARRIED OUT NEAR AND UNDER ENERGIZED TRANSMISSION LINES. EXTREME CAUTION IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL NYSEG SAFETY REQUIREMENTS. FAILURE TO DO SO WILL RESULT IN TERMINATION.

NYS RTE 22



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2	1/2021	MBS	PLANNING BOARD REVISIONS
1	9/2020	MBS	PLANNING BOARD REVISIONS



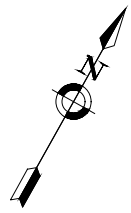
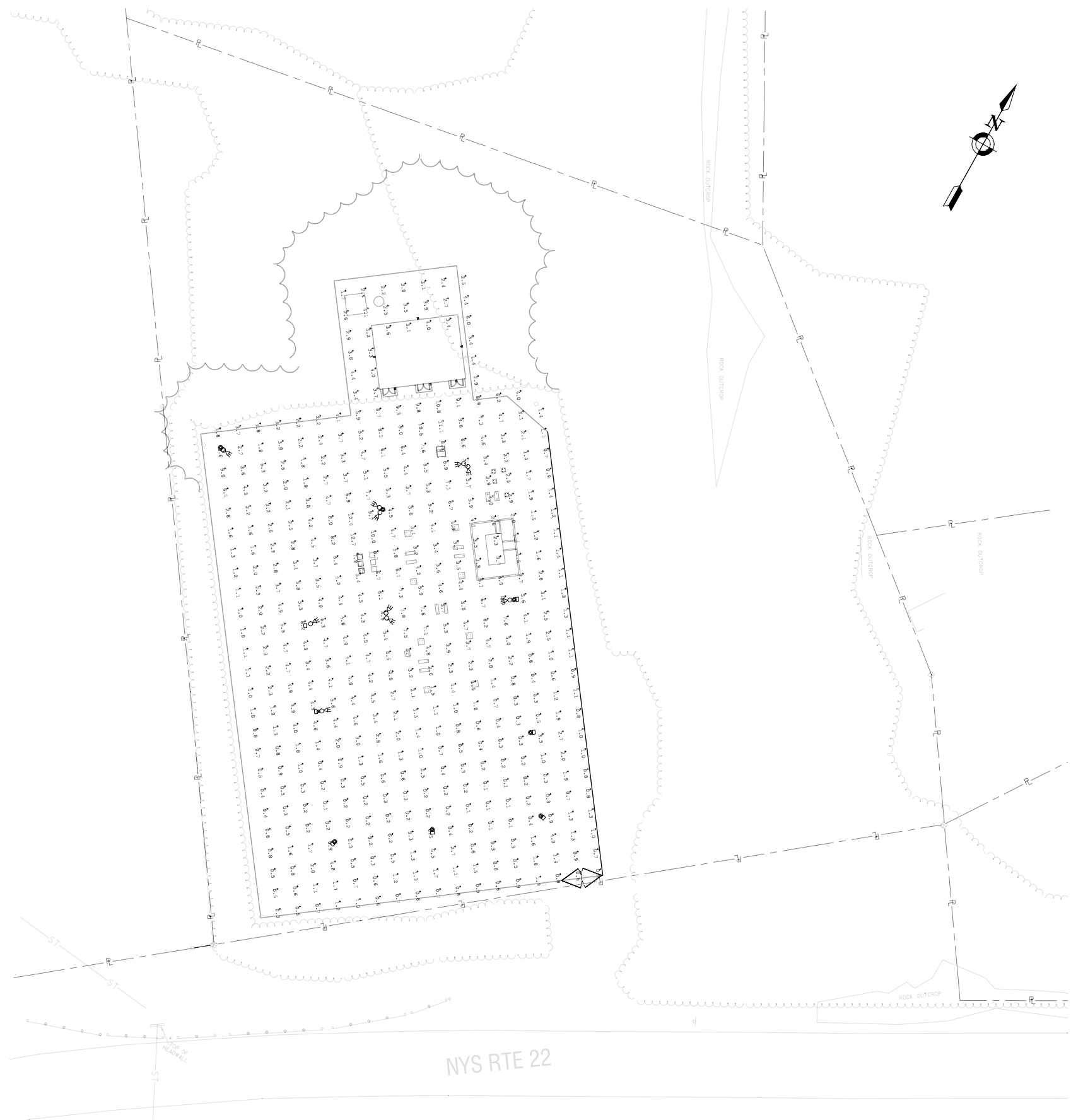
GRADING AND EROSION CONTROL PLAN	
SHEET 1 OF 1	
AMENIA SUBSTATION EXPANSION DUTCHESS	
DR. K/JW	SCALE: AS SHOWN FILE: 2150058.192
CK. MBS	NO.
APP. MBS	
APP. DATE: 9/2018	

C-301 1

PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____

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PROJECTS \Projects\AM-2\berndra USA\2150058- Elec. Eng. Services\2150058.192 - Amenia Permits & Approvals\Drawings\Civil\AutoCAD\C-301 Grading and E&R Plan.dwg PRINTED ON: 4/30/2021 9:07:28 AM



LUMINAIRE SCHEDULE				
MARK	NO. REQ'D	POWER	DESCRIPTION	MOUNTING HEIGHT (FT)
B	6	N/A	CONTROL HOUSE LUMINAIRES	11'
PL-X	8	250W	PERIMETER LUMINAIRES	18'
WL-X	6	250W	WORK LUMINAIRES ON MAST	25' ⁽¹⁾
LP	7	N/A	20' POLE	
WL-X	4	250W	WORK LUMINAIRES ON POLE	18' ⁽¹⁾

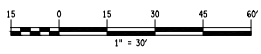
- PL-X PERIMETER LIGHT - HOLOPHANE MONGOOSE 250W HPS, OR APPROVED EQUAL.
- ⊗ WL-X WORK LIGHT - HOLOPHANE PREDATOR 250W HPS OR APPROVED EQUAL.
- LP-X POLE
- ▣ B-X BUILDING MOUNTED EXTERIOR LIGHT

NOTE:

1. PHOTOMETRIC INCLUDES ALL PERIMETER AND WORK LIGHTING, THOUGH **UNDER NORMAL CONDITIONS WORK LIGHTING WOULD BE OFF.**

ELECTRICAL KEYNOTES:

- 1 PROVIDE A 4"x4" WEATHER PROOF JUNCTION BOX WITH COVER PLATE AT 18" ABOVE FINISHED GRADE. CONDUIT ON POLE TO LIGHT FIXTURE TO BE 3/4" RMC.
- 2 PROVIDE A 2" PVC LB 18" ABOVE FINISHED GRADE FOR BUILDING PENETRATION AND LIGHTING CIRCUIT.
- 3 PROVIDE A BUILDING MOUNTED WORK LIGHT MOUNTED ON JUNCTION BOX 11" ABOVE FINISHED GRADE.

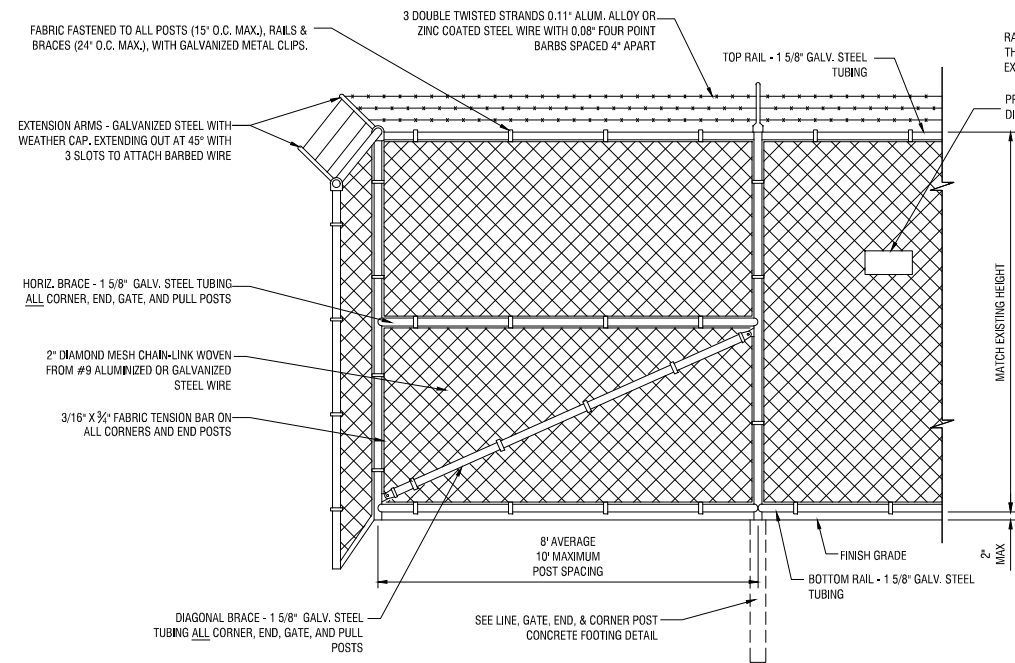


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PE Stamp

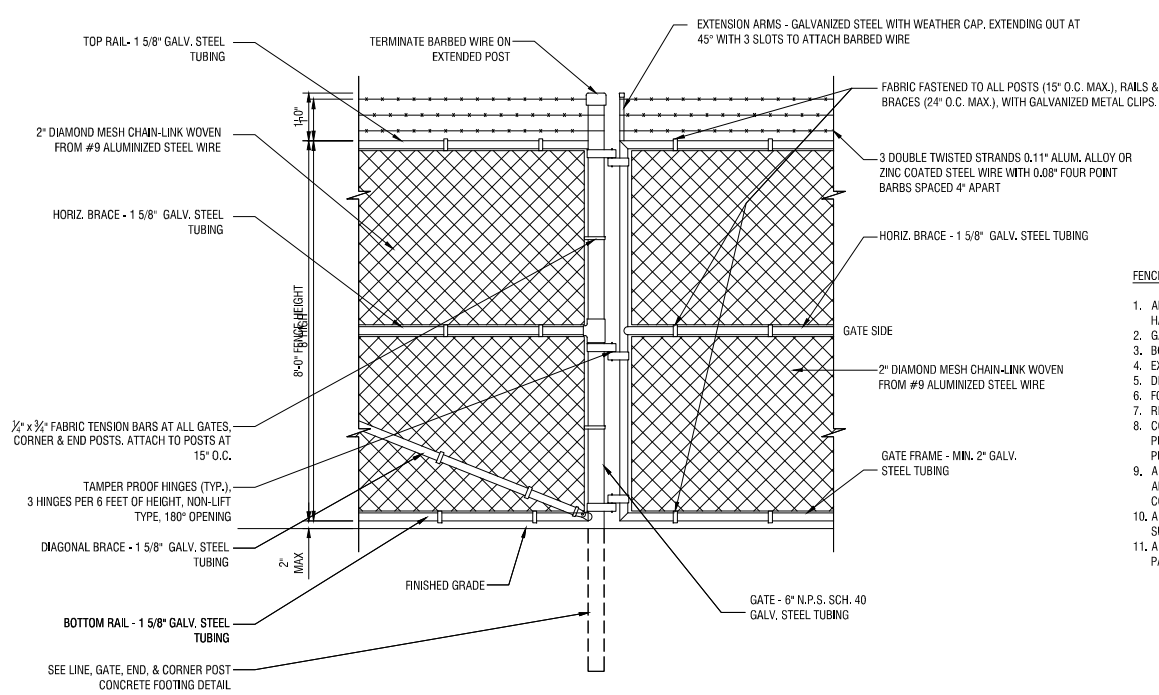
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1	9/2020	MBS	PLANNING BOARD REVISIONS	CK.	MBS
REV.	DATE	BY	DESCRIPTION	APP.	DATE

LIGHTING PLAN SHEET 1 OF 1 AMENIA SUBSTATION EXPANSION DUTCHESS			
DR.	KJW	SCALE:	AS SHOWN
CK.	MBS	FILE:	2150058.192
APP.	MBS	NO.	
APP.	MBS	REV.	
DATE:	9/2018		



MATERIAL AND STRUCTURAL DETAILS

NOT TO SCALE

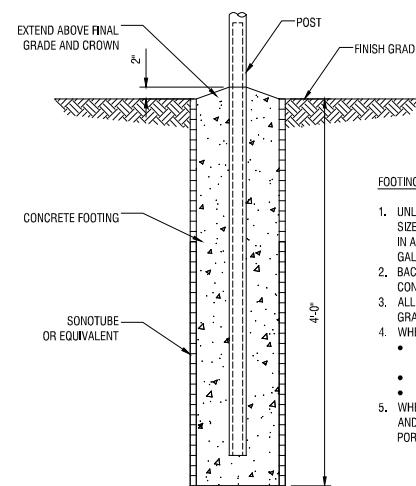


GATE FRAME DETAILS

NOT TO SCALE

FENCE AND GATE NOTES:

1. ALL ITEMS SHALL BE GALVANIZED AND ZINC COATED TO ASTM SPECIFICATIONS, INCLUDING ALL POSTS, RAILS, GATES, AND HARDWARE.
2. GATE FENCE FABRIC SHALL BE MOUNTED INSIDE THE FRAME.
3. BOLTS AND HINGES SHALL BE OF A TAMPER-PROOF TYPE.
4. EXPOSED BOLTS AND NUTS SHALL BE SPOT WELDED.
5. DROP TUBE FOR LOCKING SHALL BE REQUIRED AS PER TM.2.71.09
6. FOR FENCE AND GROUNDING PLAN, REFER TO "GROUNDING DRAWINGS"
7. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL FENCE AND GATE REQUIREMENTS.
8. CONCRETE THRESHOLD VOLUME, REBAR, AND WEIGHT QUANTITIES ARE ESTIMATED FOR OWNER'S ASSET MANAGEMENT PURPOSE ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING QUANTITIES REQUIRED FOR CONSTRUCTION BID PURPOSES.
9. A STANDARD "DANGER HIGH VOLTAGE" SIGN (STOCK CODE NO. 30920333) WILL BE PLACED AT EACH SUBSTATION MAIN AND SECONDARY GATE PANEL PER GATE LOCATION AS WELL AS WITHIN 10 FEET FROM EACH SIDE OF EACH FENCE CORNER, AND NOT MORE THAN 50 FEET APART ALONG THE FENCE LINE.
10. A STANDARD "CAUTION ENERGIZED LINES OVERHEAD" SIGN (STOCK CODE NO. 30920501) WILL BE PLACED AT EACH SUBSTATION MAIN AND SECONDARY GATE PANEL.
11. A STANDARD "SUBSTATION INFORMATION" SIGN WILL BE PLACED AT EACH SUBSTATION MAIN AND SECONDARY GATE PANEL CONTAINING THE COMPANY'S NAME, NAME OF THE SUBSTATION AND EMERGENCY CONTACT INFORMATION.



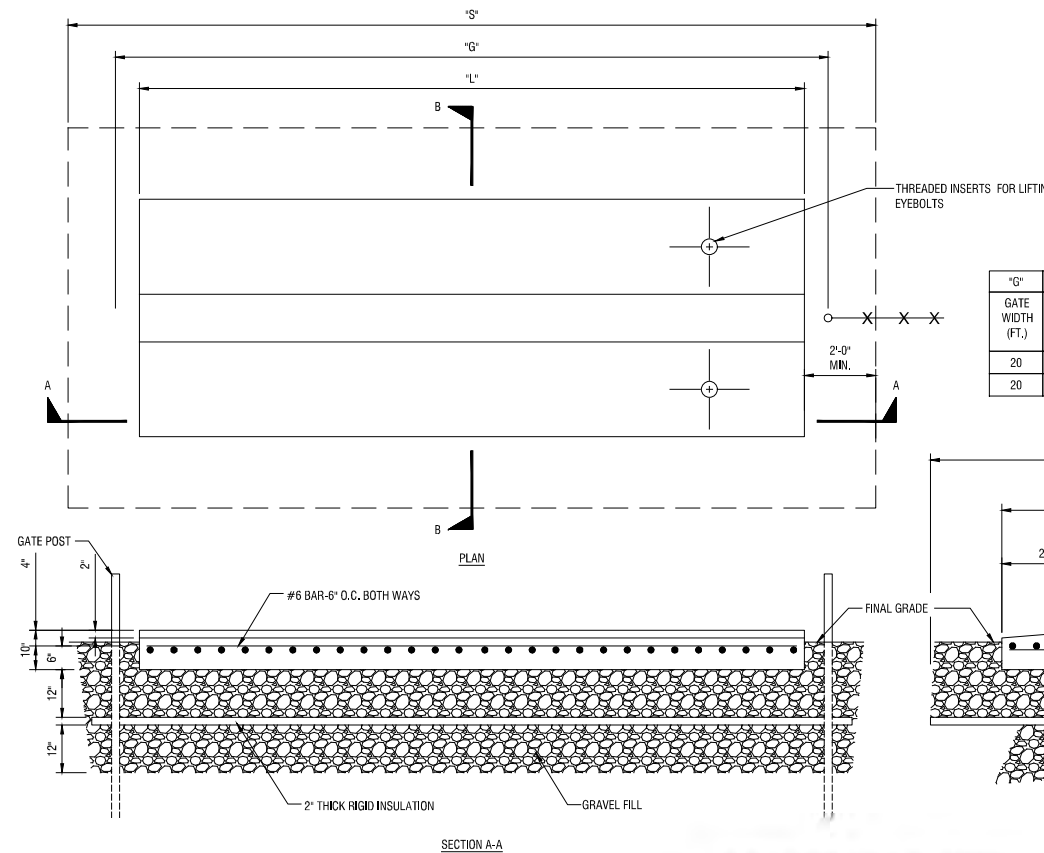
FOOTING NOTES:

1. UNLESS OTHERWISE INDICATED, FENCE POST SIZES ARE INDUSTRY STANDARD NOMINAL SIZES IN ACCORDANCE WITH ASTM F 1043, GALVANIZED STEEL PIPE.
2. BACKFILL SONOTUBE WITH MIN. 3,000 PSI CONCRETE.
3. ALL CONCRETE SHALL BE SINGLE POUR TO FINAL GRADE.
4. WHEN INSTALLING POSTS IN CLAY:
 - POST HOLE DEPTH SHALL BE INCREASED TO 6 FEET.
 - BACKFILL 4 FEET WITH CONCRETE.
 - BACKFILL FINAL 2 FEET WITH NATIVE SOIL.
5. WHEN INSTALLING POSTS IN LEDGE, CORE AND GROUT POSTS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.

POST USE	LINE	GATE	CORNER	END
ASTM F 1043 (INCHES)	3	6	4	4
SONOTUBE SIZE (INCHES)	12	24	12	12

LINE, GATE, END AND CORNER POST CONCRETE FOOTING DETAIL

NOT TO SCALE



SUBSTATION GATE CONCRETE THRESHOLD DETAIL

NOT TO SCALE

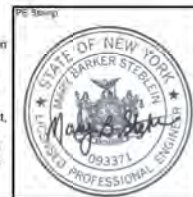
"G"	"L"	"S"			
GATE WIDTH (FT.)	LENGTH (FT.)	INSULATION (FT.)	CONCRETE VOLUME (CU YDS)	REBAR (FT.)	THRESHOLD WEIGHT (LBS.)
20	18	26	2.60	360	8930
20	22	30	3.10	440	10915

NOTES:

1. ALL ITEMS SHALL BE GALVANIZED AND ZINC COATED TO ASTM SPECIFICATIONS, INCLUDING ALL POSTS, RAILS, GATES, AND HARDWARE.
2. FENCES AT CRITICAL FACILITIES SHALL INSTALL A DUAL TOP GUARD WITH ARMS EXTENDING INWARD AND OUTWARD.
4. GATE FENCE FABRIC SHALL BE MOUNTED INSIDE THE FRAME.
5. BOLTS AND HINGES SHALL BE OF A TAMPER-PROOF TYPE.
6. EXPOSED BOLTS AND NUTS SHALL BE SPOT WELDED.
7. PROVIDE GROUNDING PER AVANGRID STANDARD
8. REFER TO AVANGRID STANDARD TM 271.98 FOR ADDITIONAL FENCE AND GATE REQUIREMENTS.
9. GATE POST SHALL BE MINIMUM 4-INCH DIAMETER. LARGE POST DIAMETER SHALL BE PROVIDED IN ACCORDANCE WITH ASTM F900.
10. UNLESS OTHERWISE INDICATED, FENCE POST SIZES ARE INDUSTRY STANDARD NOMINAL SIZES IN ACCORDANCE WITH ASTM F 1043, GALVANIZED STEEL PIPE.
11. BACKFILL SONOTUBE WITH MIN. 3,000 PSI CONCRETE.
12. ALL CONCRETE SHALL BE SINGLE POUR TO FINAL GRADE.
13. WHEN INSTALLING POSTS IN CLAY:
 - POST HOLE DEPTH SHALL BE INCREASED TO 6 FEET.
 - BACKFILL 4 FEET WITH CONCRETE.
 - BACKFILL FINAL 2 FEET WITH NATIVE SOIL.
14. CONCRETE FOR THRESHOLD MAY BE PRE-CAST OR CAST IN PLACE.
15. CHAMFER ALL EXPOSED EDGES 1".
16. 2" MINIMUM COVER ALL GRADE 60 REBAR.
17. CONCRETE SHALL BE MINIMUM 4000 P.S.I. AT 28 DAYS.
18. RIGID INSULATION: EXTRUDED POLYSTYRENE INSULATING BOARD CONFORMING TO AASHTO M230, TYPE V.
19. INSULATION SHALL BE DESIGNED PER ASCE 32-01.
20. MAX. CLEARANCE TO GATE SHALL BE 2'.

PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____

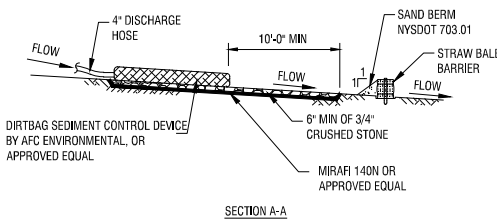
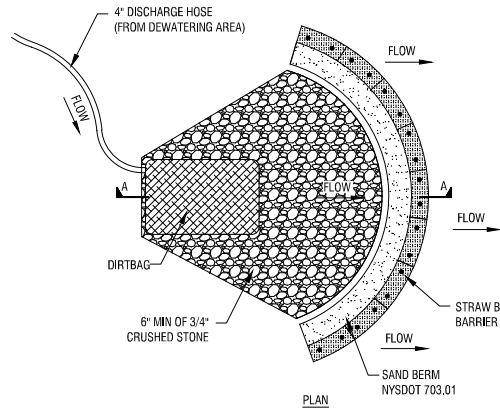
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1	9/2020	MBS	PLANNING BOARD REVISIONS



FENCE DETAILS		SHEET 1 OF 4	
AMENIA SUBSTATION EXPANSION DUTCHESS			
DR.	CK.	APP.	DATE
KJW	MBS	MBS	9/2018
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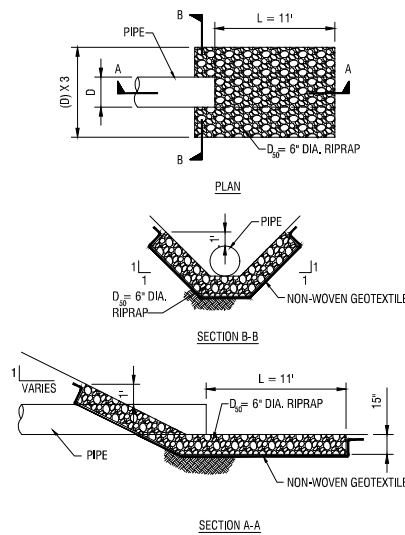


DEWATERING DETAIL NOTES:

- DIRT BAG MATERIAL BASED ON PARTICLE SIZE IN DIRTY WATER, I.E. FOR COARSE PARTICLES A WOVEN MATERIAL; FOR SILTS/CLAYS A NON-WOVEN MATERIAL.
- DO NOT OVER PRESSURIZE DIRT BAG OR USE BEYOND CAPACITY.
- LOCATE DISCHARGE SITE AS INDICATED ON SITE GRADING PLAN.
- DOWNGRADIENT RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, E.G. FOREST FLOOR OR COARSE GRAVEL/STONE.
- DISCHARGE NOT PERMITTED WITHIN 75' OF A STREAM OR WETLAND.

DEWATERING SYSTEM DETAIL

NOT TO SCALE



RIPRAP CULVERT INLET/OUTLET PROTECTION

NOT TO SCALE

DEWATERING NOTES

- THE CONTRACTOR SHALL INSTALL, MAINTAIN, AND OPERATE ALL CHANNELS, SUMPS, AND ALL OTHER TEMPORARY DIVERSION AND PROTECTIVE WORKS NEEDED TO DIVERT STREAM FLOW AND OTHER SURFACE WATER THROUGH OR AROUND THE CONSTRUCTION SITE. CONTROL OF SURFACE WATER SHALL BE CONTINUOUS DURING THE PERIOD THAT DAMAGE TO CONSTRUCTION WORK COULD OCCUR.
- OPEN EXCAVATIONS SHALL BE DEWATERED AND KEPT FREE OF STANDING WATER AND MUDDY CONDITIONS AS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL DRAINS, SUMPS AND ALL OTHER EQUIPMENT REQUIRED TO PROPERLY DEWATER THE SITE. DEWATERING SYSTEMS THAT CAUSE A LOSS OF SOIL FINES FROM THE FOUNDATION AREAS WILL NOT BE PERMITTED.
- INSTALL DIVERSION DITCHES OR BERMS IF NECESSARY TO MINIMIZE THE AMOUNT OF CLEAN STORM WATER RUNOFF ALLOWED INTO THE EXCAVATED AREA.
- REMOVAL OF WATER FROM THE CONSTRUCTION SITE SHALL BE ACCOMPLISHED SO THAT EROSION AND THE TRANSPORTING OF SEDIMENT AND OTHER POLLUTANTS ARE MINIMIZED.
- DISCHARGE DEWATERING EFFLUENT TO AREAS AS INDICATED ON THE SITE GRADING PLAN. DISCHARGE SHALL BE IN SHEET FLOW.
- DEWATERING IN PERIODS OF INTENSE, HEAVY RAIN, WHEN THE INFILTRATIVE CAPACITY OF THE SOIL IS EXCEEDED, SHALL BE AVOIDED.
- FLOW TO THE SEDIMENT REMOVAL STRUCTURE MAY NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR THE STRUCTURE'S VOLUME CAPACITY.
- WHEN TEMPORARY WORKS ARE NO LONGER NEEDED, THE CONTRACTOR SHALL REMOVE AND RETURN THE AREA TO A CONDITION SIMILAR TO THAT WHICH EXISTED BEFORE CONSTRUCTION. AREAS WHERE TEMPORARY WORKS WERE LOCATED SHALL BE GRADED FOR SLIGHTLY APPEARANCE WITH NO OBSTRUCTION TO NATURAL SURFACE WATER FLOWS OR THE PROPER FUNCTIONING AND ACCESS TO THE WORKS OF IMPROVEMENT INSTALLED. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING THE REMOVAL STAGES TO MINIMIZE THE LOSS OF SOIL, SEDIMENT AND DEBRIS THAT WAS TRAPPED DURING CONSTRUCTION.

CONSTRUCTION NOTES:

- 6" STONE TOPPING
 - CRUSHED STONE TOPPING SHALL BE OBTAINED FROM ROCK OF UNIFORM QUALITY AND SHALL CONSIST OF CLEAN, ANGULAR FRAGMENTS OF QUARRIED ROCK FREE FROM SOFT DISINTEGRATED PIECES OR OTHER OBJECTIONABLE MATTER.
 - THE STONE TOPPING SHALL MEET THE FOLLOWING BLEND REQUIREMENTS:

SIEVE DESIGNATION	BLEND RATIO
1 1/2"	50% by weight
3/4"	50% by weight

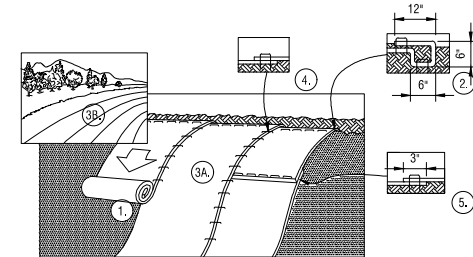
- GRAVEL BASE AND SUBGRADE FILL SHALL MEET TM2.71.09 SECTION 2.5 REQUIREMENTS.
- GRAVEL ROAD SURFACE
 - GRAVEL ROAD SURFACE SHALL BE CONSTRUCTED OF NO LESS THAN SIX (6) INCHES OF THE INDICATED GRANULAR MATERIAL.
 - GRAVEL ROAD SURFACE SHALL MEET THE FOLLOWING BLEND REQUIREMENTS:

SIEVE DESIGNATION	PERCENT BY WEIGHT PASSING SIEVE
2"	100
1 1/2"	45-70
3/4"	30-55
#40	0-20
#200	0-5

- RIP RAP - D₅₀ = 6" DIAMETER CRUSHED STONE, 15" DEEP WHERE SHOWN ON PLANS. INSTALL ON A WOVEN GEOTEXTILE. ROCK SHALL CONSIST OF SOUND, DURABLE ANGULAR ROCK THAT WILL NOT DISINTEGRATE BY EXPOSURE TO WATER OR WEATHER. FIELDSTONE, ROUGH QUARRY STONE, BLASTED LEDGE ROCK MAY BE USED, ROUNDED BOULDERS, COBBLES OR TAILINGS WILL NOT BE PERMITTED. STONE SIZES SHALL BE AS INDICATED ON THE DRAWINGS. THE GRADATION SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVE
12 INCH	90-100
4 INCH	0-15

- UNDERDRAIN PIPING - PERFORATED CLASS II HIGH-DENSITY POLYETHYLENE (HDPE), FITTINGS AND JOINTS CONFORMING TO AASHTO M252.
- ROAD CULVERT PIPING - CPP DRAINAGE PIPING ADS, N12 OR APPROVED EQUAL.
- GEOTEXTILE FABRIC - NON-WOVEN GEOTEXTILE FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL. WOVEN GEOTEXTILE FABRIC SHALL BE MIRAFI 600X OR APPROVED EQUAL.
- EMBANKMENT FILL SLOPES - ALL FILL SLOPE FACES SHOULD BE CONSTRUCTED AS LEVEL BENCHES WHICH ARE OVERBUILT TO FACILITATE COMPACTION. THE FINAL SLOPE FACE SHOULD BE CONSTRUCTED BY CUTTING BACK INTO THE COMPACTED CORE.
- STABILIZE ANY NEWLY CUT SLOPE GREATER THAN EIGHT PERCENT OTHER THAN AREAS IDENTIFIED ON THE PLANS TO BE RIPRAPPED USING ANCHORED EROSION CONTROL BLANKETS OR OTHER APPROVED MULCHING TECHNIQUES WITHIN 24 HOURS. STABILIZE ANY SLOPE EXCEEDING EIGHT PERCENT AND BROUGHT TO FINAL GRADE WITHIN 24 HOURS USING THE APPROVED PERMANENT STABILIZATION MEASURES FOR SLOPES. STABILIZE ANY SECTION OF DITCH BROUGHT TO FINAL GRADE WITHIN 24 HOURS USING THE APPROVED PERMANENT STABILIZATION MEASURES FOR DITCHES.



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED TRENCH BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER EN (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

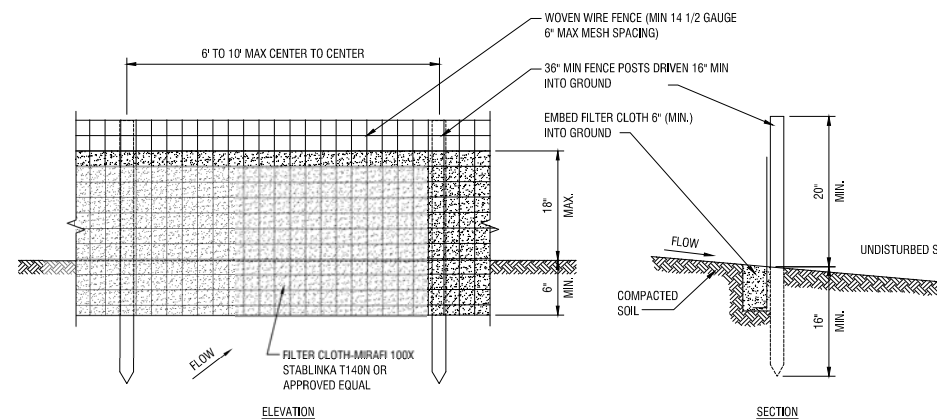
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"

NOTE:

MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL BLANKET INSTALLATION

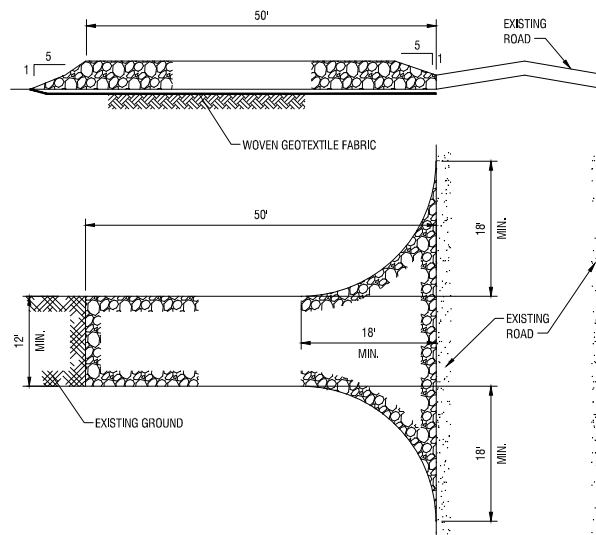
NOT TO SCALE



- WOVEN WIRE FENCE TO BE FASTENED TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MIDSECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BUILD-UP REACHES 1/3 THE HEIGHT OF THE FENCE.

SILT FENCE DETAILS

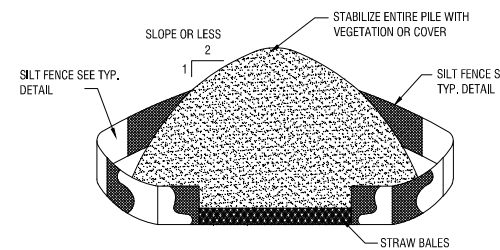
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

- STONE SIZE - USE 2" STONE.
- LENGTH - NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MIN. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- WOVEN GEOTEXTILE FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

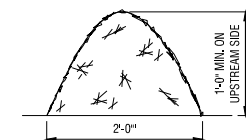


INSTALLATION NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2H:1V.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TYPICAL SOIL STOCKPILE

NOT TO SCALE



- EROSION CONTROL SOIL/BARK MIX SHALL CONSIST OF SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK OR FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER-FLUME LOG HANDLING SYSTEMS. THE MIX SHALL CONFORM TO THE FOLLOWING:
- pH - 5.0 TO 8.0.
 - SCREEN SIZE: 6" - 100% PASSING
3/4" - 70% TO 85% PASSING
 - MIX SHALL NOT CONTAIN LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS
 - ORGANIC MATERIAL 20% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION MUST BE FIBROUS AND ELONGATED
 - SOLUBLE SALTS SHALL BE < 4.0 mmhos/cm

EROSION CONTROL BERM

NOT TO SCALE

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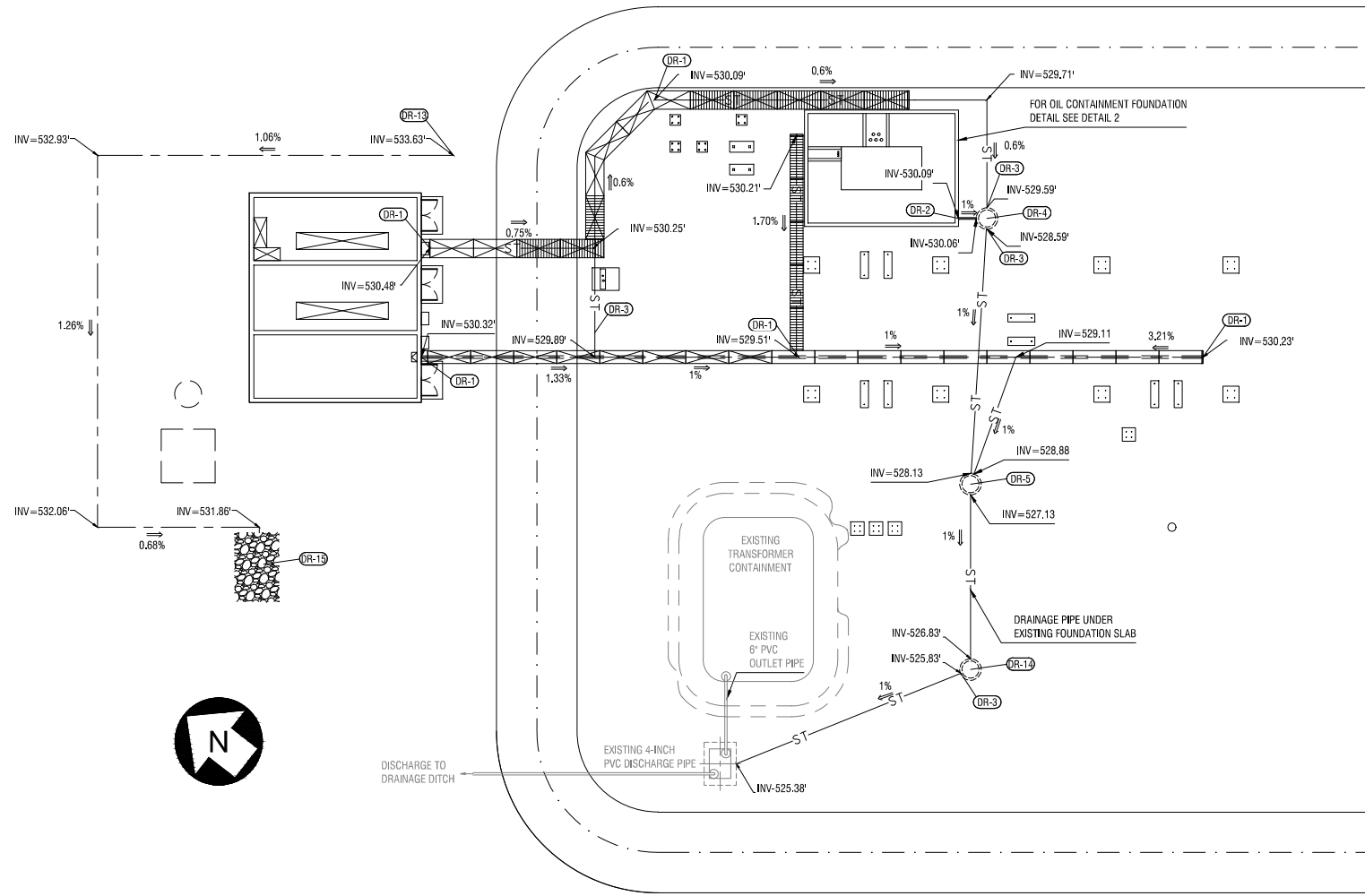


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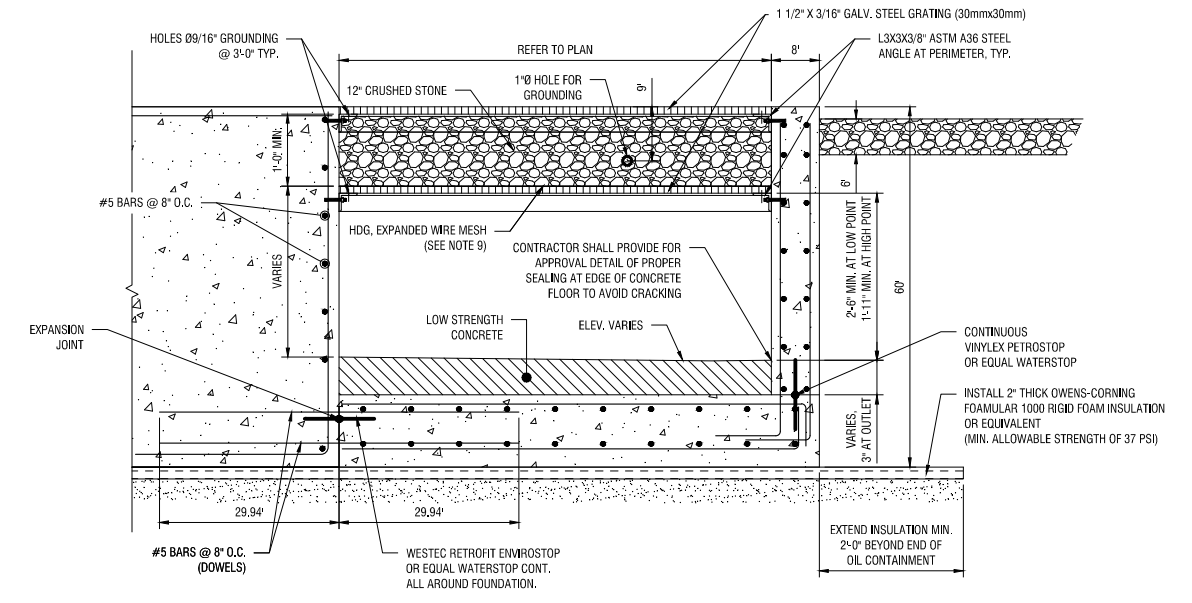
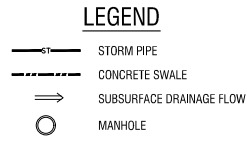
GRADING DETAILS		SHEET 2 OF 4	
AMENIA SUBSTATION EXPANSION DUTCHESS			
DR.	CK.	APP.	DATE:
K/JW	MBS	MBS	9/2018
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PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____



1 DRAINAGE PLAN
N.T.S.

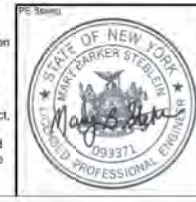
DRAINAGE LIST				
MARK	QTY.	UNIT	DESCRIPTION	
DR-1	350	LF	6" PERFORATED CLASS II HDPE PIPE CONFORMING TO AASHTO M252	
DR-2	3.5	LF	4" HDPE PIPE, IPS, CONFORMING TO AWWA C-901	
DR-3	240	LF	6" HDPE PIPE, IPS, CONFORMING TO AWWA C-901	
DR-4	1	EA	MANHOLE ASSEMBLY 1	
DR-5	1	EA	MANHOLE ASSEMBLY 2	
DR-6	3	EA	MANHOLE TOP SLAB, 5/8" 12" MIN THICKNESS WITH CAST IN PLACE 30"x30" HEAVY DUTY HATCH, BITUMASTIC COATING INSIDE AND OUT, EXCEPT TOP. MANHOLE TO CONFORM WITH ASTM C-478 WITH HS-20 LOADING AND 30% IMPACT LOADING.	
DR-7	3	EA	MANHOLE RISER, 5/8" 9" H. O-RING GASKET, STEPS, 2 COATS BITUMASTIC COATING INSIDE AND OUTSIDE, MANHOLE TO CONFORM WITH ASTM C-478 WITH HS-20 LOADING AND 30% IMPACT LOADING.	
DR-8	3	EA	MANHOLE, W/ INTEGRAL EXTENDED BASE, 5/8" 9" H. O-RING GASKET, STEPS, 2 COATS BITUMASTIC COATING INSIDE AND OUTSIDE TO CONFORM WITH ASTM C-478 WITH HS-20 LOADING AND 30% IMPACT LOADING.	
DR-9	3	EA	PRESS-SEAL, PSX DIRECT DRIVE RESILIENT PIPE CONNECTOR	
DR-10	1	EA	11"x20" PVC PETRO-BARRIER PIPE	
DR-11	1	EA	12" HDPE DOUBLE WALL CORRUGATED HOUSING	
DR-12	85	CY	NYS DOT ITEM 203.07 SELECT GRANULAR FILL OR COMPACTED ON-SITE NATURAL SOIL	
DR-13	169	LF	CONCRETE SWALE	
DR-14	1	EA	MANHOLE ASSEMBLY 3	
DR-15	1	EA	RIP RAP	



2 OIL CONTAINMENT FOUNDATION DETAIL
N.T.S.

PLANNING BOARD CHAIRMAN'S SIGNATURE _____ DATE _____

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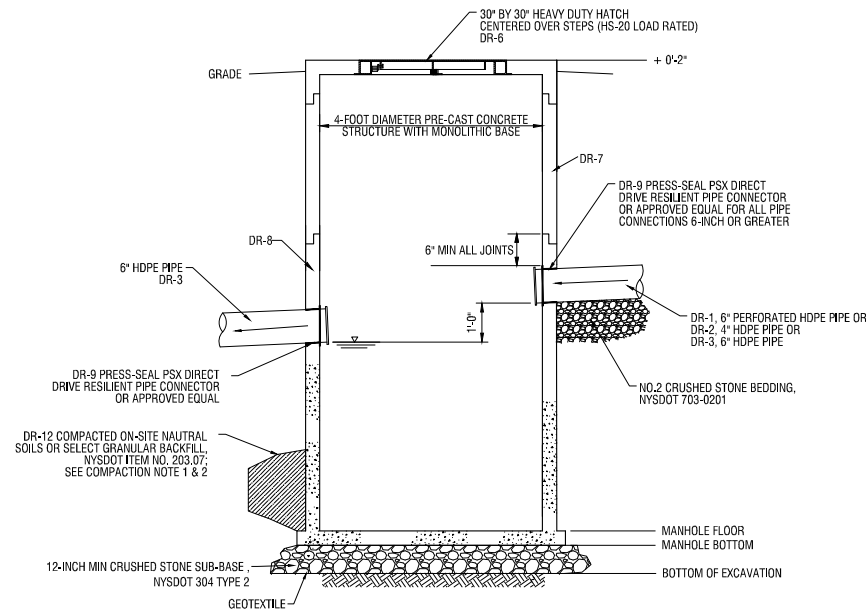


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DRAINAGE DETAILS
SHEET 3 OF 4
AMENIA SUBSTATION EXPANSION DUTCHESS

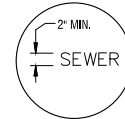
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APP.	MBS	REV.	
DATE:	9/2018	C-503 1	



NOTES:

1. PROVIDE RUBBER GASKETS FOR ALL RISER JOINTS, CONFORMING TO ASTM C443 WITH FLEXIBLE JOINT BUTYL RESIN STRIP, ASTM C990, ON INSIDE AND OUTSIDE EDGES.
2. PRECAST REINFORCED MH SHALL BE CONSTRUCTED IN THREE SECTIONS: A BASE, A RISER AND A TOP SLAB IN ORDER TO MINIMIZE THE NUMBER OF JOINTS.
3. PRECAST BASES, RISER SECTIONS & TOP SLAB MUST CONFORM WITH ASTM C476, W/ HS-20 LOADING AND 30% IMPACT LOADING DESIGN.
4. CONCRETE FOR STRUCTURE MUST HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSL.
5. PROVIDE TWO COATS OF BITUMASTIC COATING ON INTERIOR AND EXTERIOR SURFACES.
6. ALL PIPE CONNECTIONS 6-INCH AND LARGER SHALL RECEIVE A FLEXIBLE WATERTIGHT BOOT MEETING ASTM C923 WITH MORTAR.
7. PIPE CONNECTION OPENINGS SHALL BE A MINIMUM OF 6-INCHES AWAY FROM NEAREST JOINT OR AS RECOMMENDED BY STRUCTURE MANUFACTURER.
8. ALL PIPE CONNECTIONS SMALLER THAN 6-INCHES SHALL BE CORED IN THE FIELD AND FILLED WITH EPOXY MORTAR TO MAKE A WATER TIGHT CONNECTION.
9. STEPS TO BE 12-INCH ON CENTER MEASURED VERTICALLY, MAXIMUM 15 INCHES FROM STRUCTURE BOTTOM. COORDINATE STEPS WITH HATCH ACCESS.
10. PROVIDE DESIGN CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW YORK TO VERIFY ANTI-BOUYANCY. PROVIDE A MINIMUM FACTOR OF SAFETY OF 2.0 WITH GROUNDWATER AT THE SURFACE. PROVIDE BASE EXTENSIONS AS REQUIRED.

THE WORD "SEWER" IN LETTERS NOT LESS THAN 2-INCHES HIGH SHALL BE CAST INTO MANHOLE COVERS.



LETTERING ON COVER

1 MANHOLE DETAILS

Scale: N.T.S.

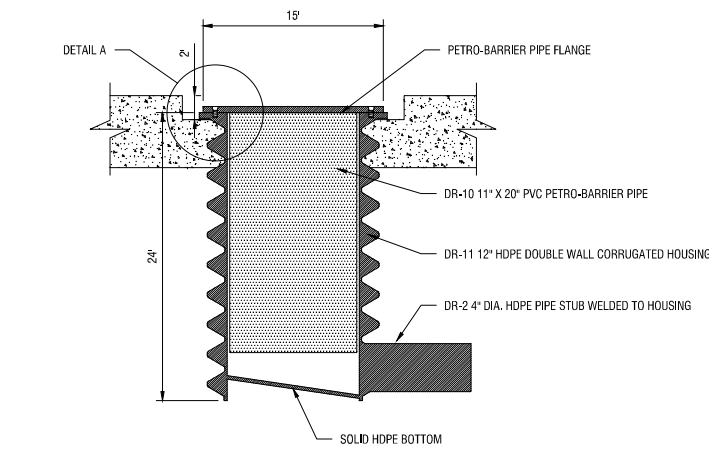
	GRADE	TOP OF MANHOLE	INVERT + INFLUENT 1	INVERT + INFLUENT 2	INVERT + INFLUENT 3	INVERT + EFFLUENT	MANHOLE FLOOR	MANHOLE BOTTOM	MANHOLE EXCAVATION
DR-4	533.08'	533.25'	529.59'	530.06'	N/A	528.59'	522.7'	522.41'	521.41'
DR-5	532.88'	533.05'	528.13'	528.88'	N/A	527.13'	522.5'	522.21'	521.21'
DR-14	532.66'	532.83'	526.83'	N/A	N/A	525.83'	522.28'	521.99'	520.99'

NOTES:

1. IF ROCK IS ENCOUNTERED, THIS ROCK WILL BE WEATHERED (ACCORDING TO GEOTECHNICAL REPORT). ROCK WILL BE ELIMINATED BY GRINDING, AND THE BOTTOM OF THE PITS WILL BE FILLED WITH A 3" LAYER OF CRUSHED STONE.

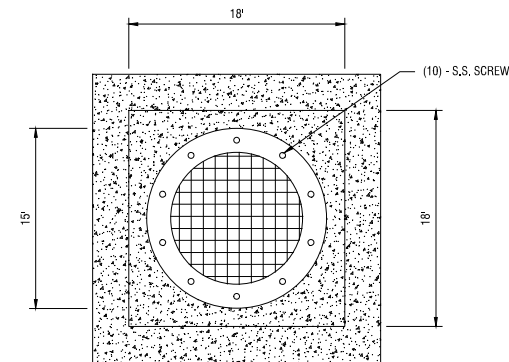
COMPACTION NOTES

1. COMPACT ON-SITE NATURAL SOILS AND SELECT GRANULAR BACKFILL IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR METHOD, ASTM D-1557. ADJUST MOISTURE TO WITHIN 2 PERCENT OF OPTIMUM FOR COMPACTION.
2. ON-SITE NATURAL SOIL TO BE FREE OF TOPSOIL, ORGANICS, AND DEBRIS.



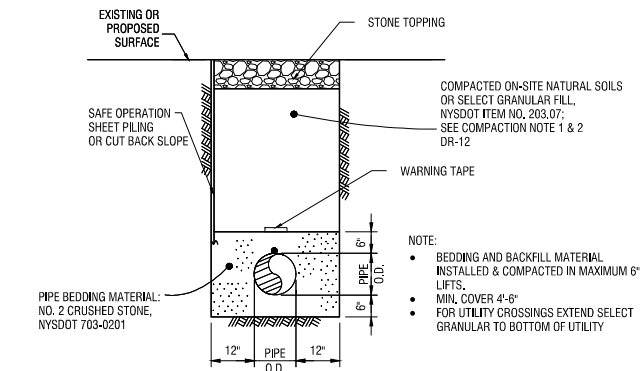
2 OIL PIT OUTLET PIPE DETAIL

Scale: N.T.S.



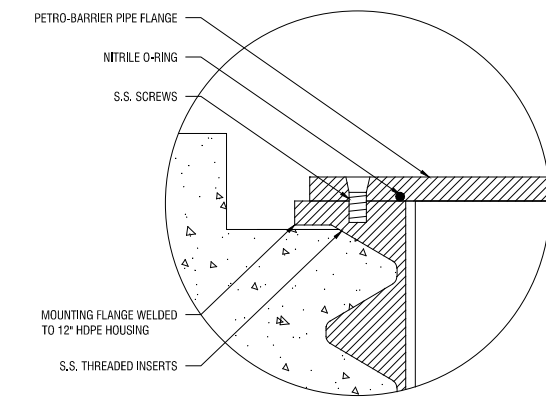
3 PETRO-BARRIER PIPE FLANGE

Scale: N.T.S.



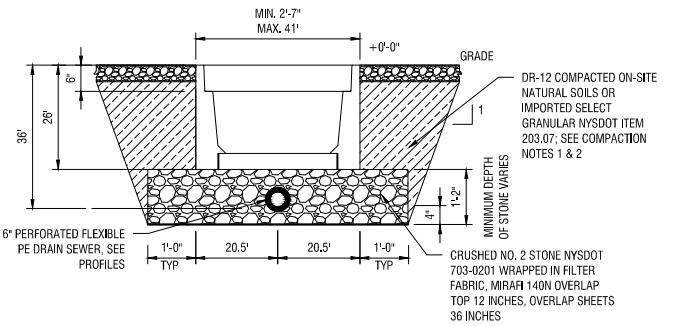
5 DRAINAGE PIPE TRENCH

Scale: N.T.S.



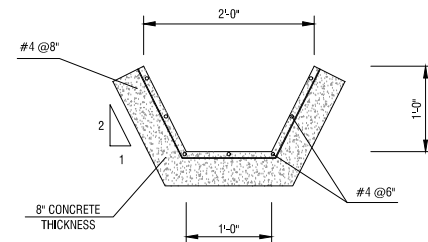
A DETAIL A

Scale: N.T.S.



4 CABLE TRENCH UNDERDRAIN (TYP.)

Scale: N.T.S.



6 CONCRETE SWALE

Scale: N.T.S.

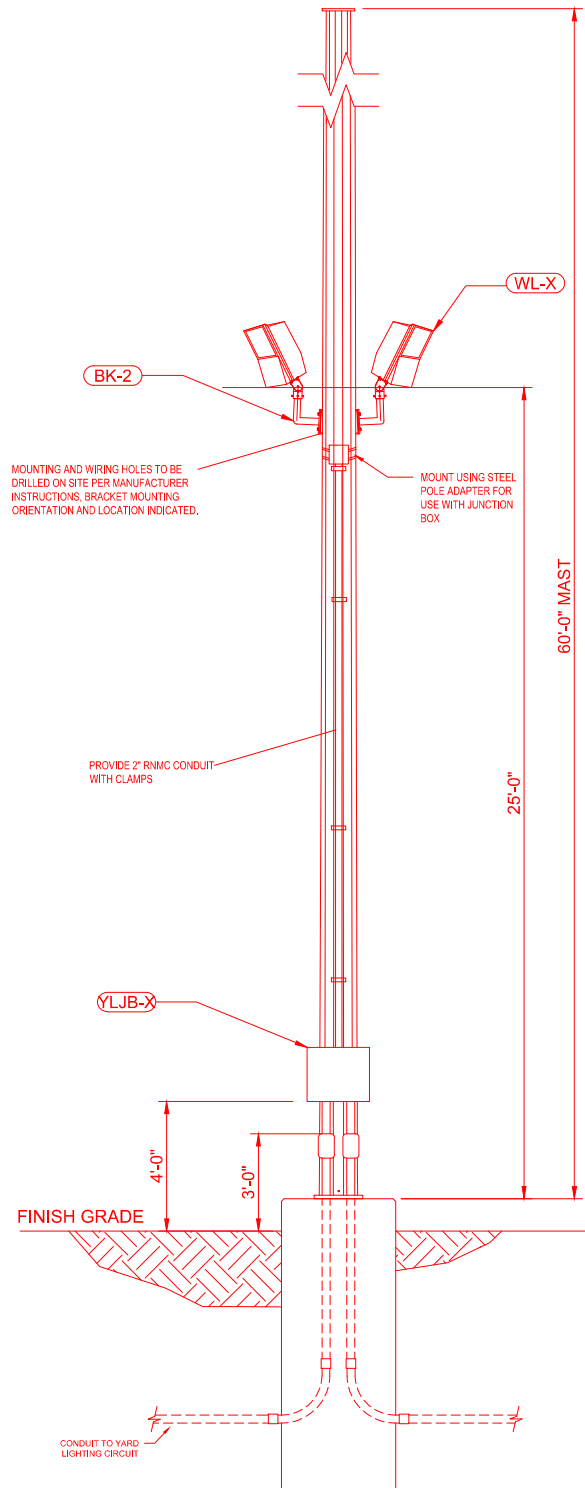
PLANNING BOARD CHAIRMAN'S SIGNATURE DATE

It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer or land surveyor is altered, the altering architect, engineer or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

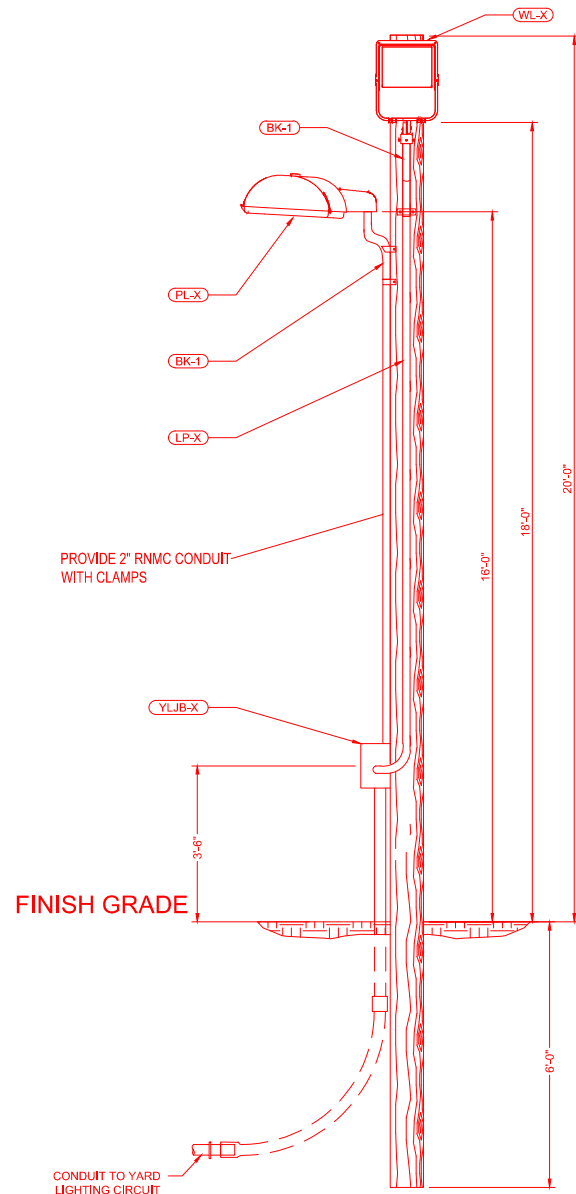


AVANGRID ENGINEERING CONFIDENTIAL, PROPRIETARY and TRADE SECRET INFORMATION Property of AVANGRID, Networks, Inc.				NYSEG AVANGRID	
1	9/2020	MBS	PLANNING BOARD REVISIONS	DR.	K/JW
REV.	DATE	BY	DESCRIPTION	APP.	DATE

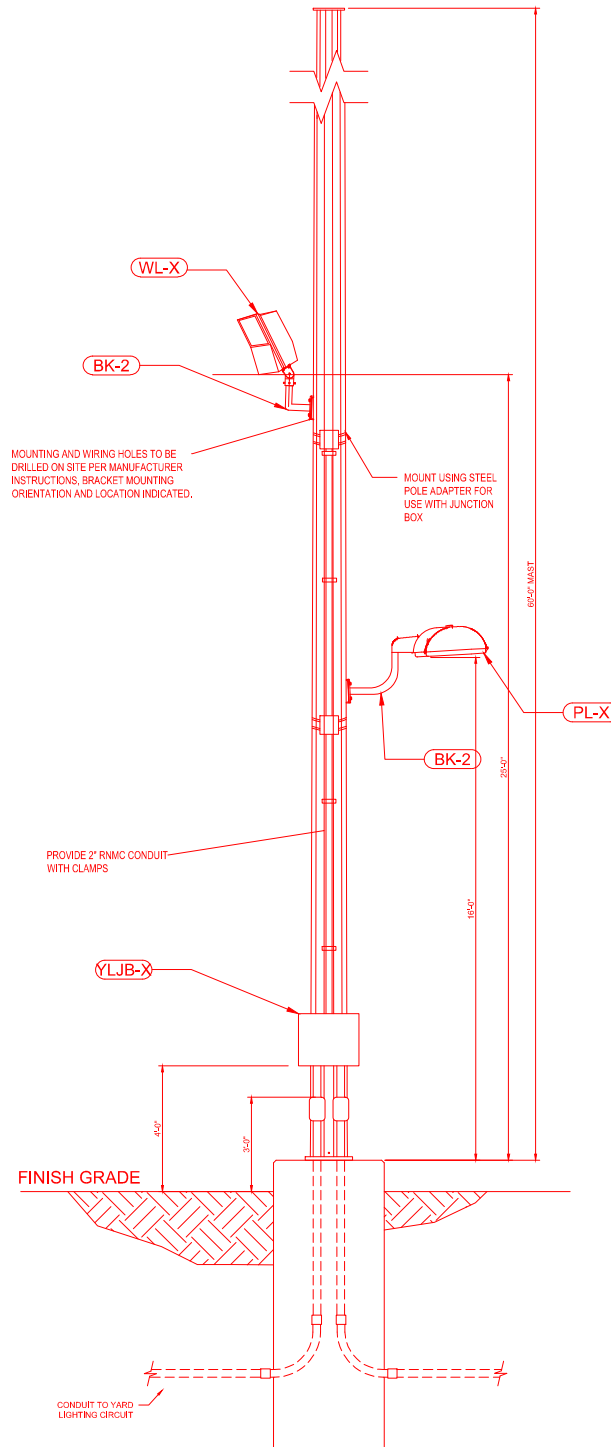
DRAINAGE DETAILS SHEET 4 OF 4 AMENIA SUBSTATION EXPANSION DUTCHESS		
SCALE: AS SHOWN	FILE: 2150058.192	NO.
DR.	K/JW	REV.
CK.	MBS	
APP.	MBS	
DATE:	9/2018	



1 WORK LIGHT ON 60' LIGHTNING MAST
N.T.S



2 PERIMETER AND WORK LIGHT ON 20' WOODEN LIGHT POLE
N.T.S



3 WORK AND PERIMETER LIGHT ON 60' LIGHTNING MAST
N.T.S

BILL OF MATERIALS			
MARK	QTY.	DESCRIPTION	SAP MATERIAL
LUMINAIRE			
PL-X	1	PERIMETER LIGHTING (MONGOOSE, 250W HIGH PRESSURE SODIUM, 240V, HIGH TILT, WIDE FLOOD)	HOLOPHANE G250HP24HWDVG
WL-X	1	WORK LIGHTING (PREDATOR, 250W HIGH PRESSURE SODIUM, 240V, WIDE BEAM, 2" KNUCKLE FITTER)	HOLOPHANE PF250HP24KN1G
MOUNTING			
BK-1	2	WOOD POLE BRACKET, 1 LIGHT, 2" SLIP FITTER, PRIME PAINTED	HOLOPHANE BKT-5-PP
BK-2	2	MAST BRACKET, 1 LIGHT, 2" SLIP FITTER, PRIME PAINTED	HOLOPHANE BKT-1-PP
STRUCTURE			
LP-X	1	WOOD POLE, CLASS 4, 20 FT.	CLASS 4
YLJB-X	1	12"X12"X8" YARD LIGHTING JUNCTION BOX, NEMA 3R, WITH SUB-PANEL	SAGINAW SCE-12R1208LP, SCE-12DLP12
YLTB-X	AS REQUIRED	TERMINAL BLOCK, W/ JUMPERS, MOUNTING CHANNEL, ENDS	SQUARE D 9080GC6, 9080GH74, 9080GC6B, 9080MH339, 9080GH10

KEYNOTES:
LUMINAIRES SHALL BE POSITIONED AND ORIENTED AS SHOWN ON YARD LIGHTING PLAN SHEET.

INSTALL

REV.	DESCRIPTION	DATE	BY	CK	APP	OWNER ENGINEER:	APPROVAL STAMP:	PE Stamp	AVANGRID ENGINEERING CONFIDENTIAL, PROPRIETARY and TRADE SECRET INFORMATION Property of AVANGRID, Inc.	NYSEG AVANGRID	YARD LIGHTING DETAILS
0-1A	SGC COMMENTS	3/9/2019	LABELLA	P.P.		AVANGRID					SHEET 3 OF 4
0-0D	SGC COMMENTS	08/10/2018	LABELLA	B.J.B.	B.J.B.						AMENIA BREWSTER
0-0C	ISSUED FOR REVIEW	06/22/2018	LABELLA	B.J.B.	B.J.B.	LABELLA Professional Engineer					DR. J.E.L. SCALE: N.A. FILE: N11AME-2-0109-D-1014 SH03
0-0B	SGC COMMENTS	11/22/2017	J.E.L.	B.J.B.	S.E.						APP. S.E.
0-0A	FIRST ISSUE	10/06/2017	J.E.L.	B.J.B.	S.E.			07/31/2020			DATE: 10/06/2017
REV.	DATE	BY	DESCRIPTION	APP.	DATE	N11AME-2-0109-D-1014		0-2			

REV.