

SITE PLAN
1" = 30'
GRAPHIC SCALE

LEGEND

EXISTING PROPERTY LINE	— — — — —
BUILDING SETBACK LINES	— — — — —
EXISTING CONTOUR	— — — — —
EXISTING STREAM BOUNDARY	— — — — —
EXISTING WETLAND BOUNDARY	— — — — —
WETLAND ADJACENT AREA	— — — — —
SILT FENCE	SF

SITE ACCESS, PARKING AND EQUIPMENT MANEUVERING NOTES:

THIS PROJECT PROPOSES A NEW BUILDING TO HOUSE THE EXISTING FIRE TRUCKS THAT ARE CURRENTLY HOUSED IN THE EXISTING BUILDING SHOWN.

THE FIRE TRUCKS WILL PARK IN A SIMILAR MANNER, AS THEY CURRENTLY DO IN THE EXISTING FIRE HOUSE. THE FIRE TRUCKS WILL BACK INTO THE FRONT GARAGE DOORS TO ENTER THE BUILDING.

DUE TO THE INCREASED DISTANCE FROM THE EXISTING INTERSECTION AND THE INCREASED DISTANCE OFF MECHANIC STREET THESE MANEUVERS WILL BE MADE SAFER AND EASIER, AS COMPARED TO THE EXISTING CONDITIONS.

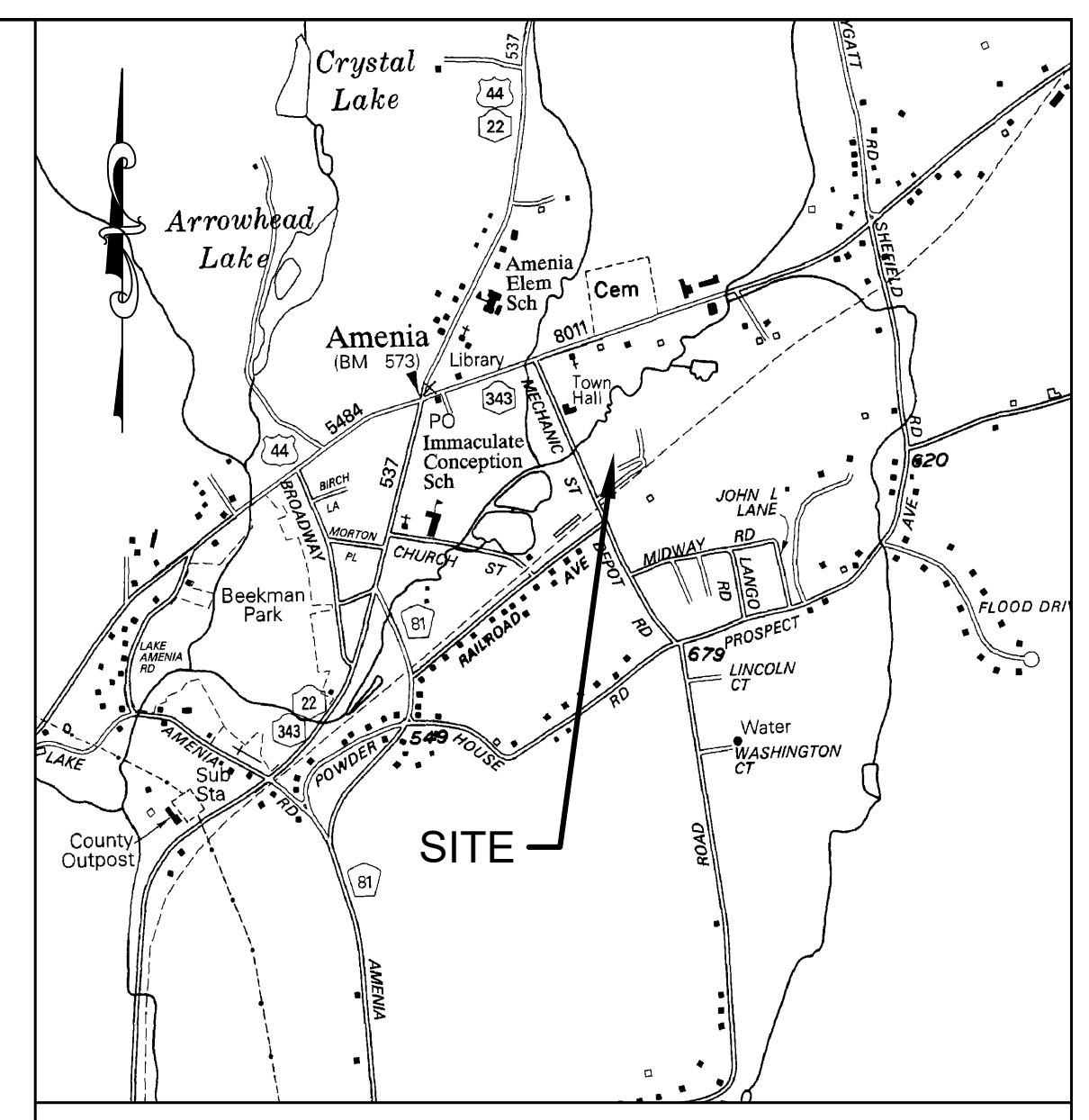
WHEN THE TRUCKS ARE MOVED OVER TO THE NEW BUILDING, THE AREA IN FRONT OF THE EXISTING FIRE HOUSE WILL BE USED FOR THE VOLUNTEERS TO PARK THEIR VEHICLES. THE PLANS PROVIDE 14-PARKING SPACES TOTAL, INCLUDING 4-SPACES NEXT TO THE EXISTING PAVILION.

ONLY THE AMBULANCE, PICK UP TRUCKS AND SMALL TRAILERS WILL USE THE ACCESS DRIVE TO THE REAR OF THE BUILDING AND THE 50-FOOT RADIUS SHOWN WILL BE MORE THAN SUFFICIENT TO ALLOW FOR THE MANEUVERING OF THE PASSENGER VEHICLE SIZED EQUIPMENT.

THREATENED AND ENDANGERED SPECIES PROTECTION NOTES:

THE TIMBER RATTLER AND BOG TURTLES HAVE BEEN IDENTIFIED AS POSSIBLY BEING PRESENT IN THE PROJECT AREA.

THE NYSDEC WETLANDS PERMIT APPLICATION PLANS INDICATE THE SEASONAL RESTRICTIONS FOR PERFORMING SITE WORK AND INCLUDE DETAILS FOR BARRIERS TO ENSURE NO RATTLE SNAKES OR BOG TURTLES ARE IMPACTED BY THE PROJECT.



VICINITY PLAN
SCALE: 1" = 2,000'

BULK REGULATIONS

HAMLET MIXED USE "HM"			
PROVISION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (ACRES)	40,000 SF	4.29	4.29 NO CHANGE
MIN. ROAD FRONTAGE (FT)	50 (TOWN ROAD)	404	404 NO CHANGE
MIN / MAX FRONT YARD SETBACK (FT)	25/40 (TOWN ROAD)	41.8 (FIREHOUSE)	72.4
MIN. REAR YARD SETBACK (FT)	15	274.6 (PAVILION)	364
MIN. SIDE YARD SETBACK (FT)	10	5.20 (FIREHOUSE)	98.0
MAX IMPERVIOUS SURFACE (%)	50%	19.0%	19.8%
MAX BUILDING HEIGHT (FT)	45	<45	21.5
MAX BUILDING FOOT PRINT (FT)	10,000	7,204 (FIREHOUSE)	6,960

1. MINIMUM ACREAGE REQUIREMENTS OUTLINED IN SECTION 121-11.D OF TOWN OF AMENIA ZONING CODE. LOTS WITH MUNICIPAL WATER BUT NO COMMON OR MUNICIPAL SEWAGE DISPOSAL SERVICES HAVE A MINIMUM OF 40,000 S.F.

PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF AMENIA, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____
CHAIRMAN

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT I AM FAMILIAR WITH THIS MAP, ITS CONTENTS AND LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF DUTCHESS, IF REQUIRED.

SIGNED THIS _____ DAY OF _____ 2021
OWNER'S SIGNATURE

SITE DATA

ZONING DISTRICT: "HM" HAMLET-MIXED USE
LOT SIZE: 4.29 ACRES
TAX GRID NO.: 132000-7167-14-279456
PROPERTY ADDRESS: 36 MECHANIC ST.
AMENIA, NY 12501
PROPERTY OWNER: AMENIA FIRE COMPANY NO. 1, INC.
36 MECHANIC ST.
AMENIA, NY 12501

- MAP NOTES:**
- PROPERTY AND TOPOGRAPHIC SURVEY DATA BASED UPON AN ACTUAL FIELD SURVEY COMPLETED IN JUNE OF 2021 BY KIRK K. HORTON, NYS L.S. NO. 49954.
 - REGULATORY WETLAND NYSDEC AM-9 IS PRESENT ON PROJECT SITE.
 - THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND AM-9 AS DELINEATED BY MICHAEL NOWICKI, OF ECOLOGICAL SOLUTIONS, LLC, ON OCTOBER 20, 2019. WETLAND BOUNDARY BASED UPON ACTUAL FIELD SURVEY, COMPLETED ON OR BEFORE JUNE 22, 2021, BY KIRK K. HORTON, NYS L.S. NO. 49954.
 - AS PER FEMA FIRM PANEL 36027C0331E, AREAS OF SPECIAL FLOOD HAZARD ARE PRESENT ON OR WITHIN THE SITE.

DATE	REVISION

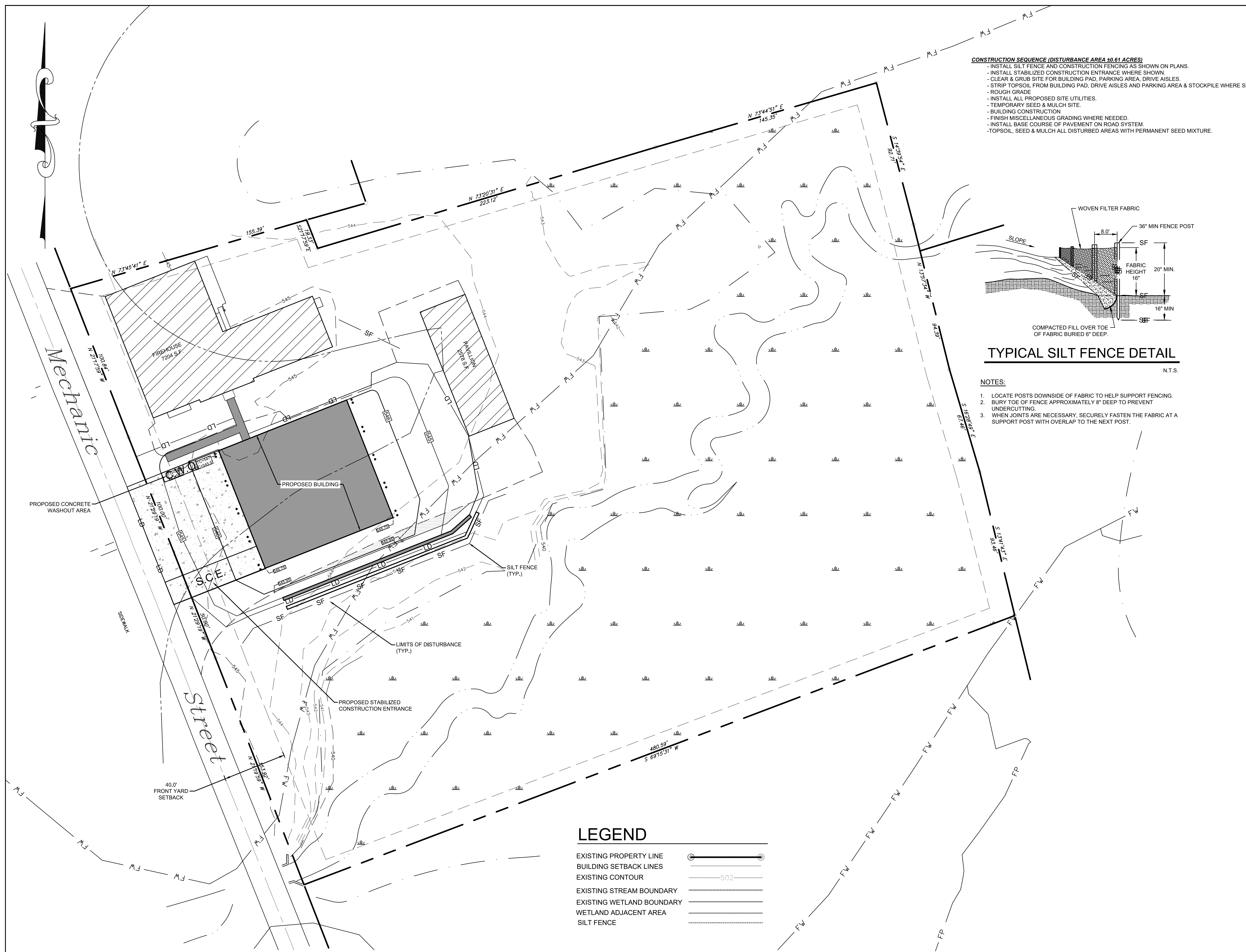
ENGINEERING, DESIGN, & PLANS PREPARED BY:
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PRELIMINARY

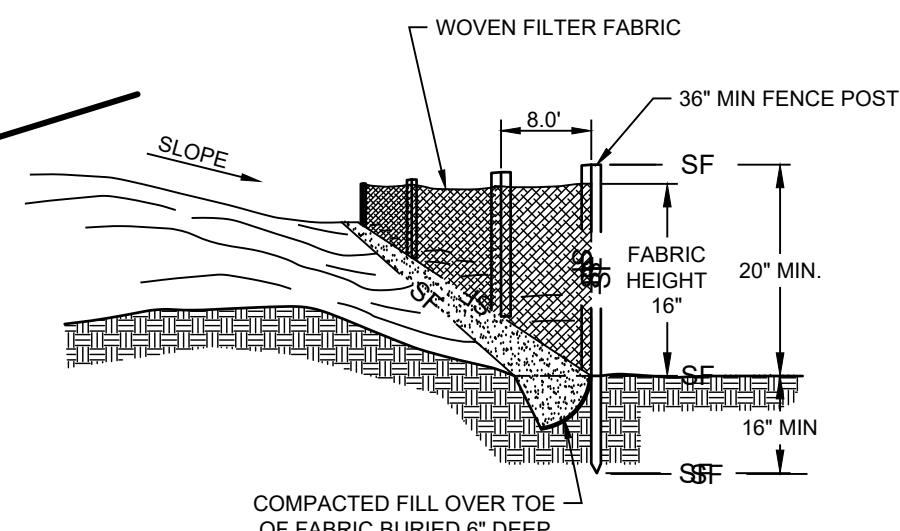
**AMENIA FIREHOUSE
MECHANIC STREET**
TOWN OF AMENIA DUTCHESS COUNTY, NY

PROPOSED SITE PLAN

DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	JOB NO.	SHEET NO.
10/19/2021	1"=30'	RED	RED	RAR	15-004	1 of 6

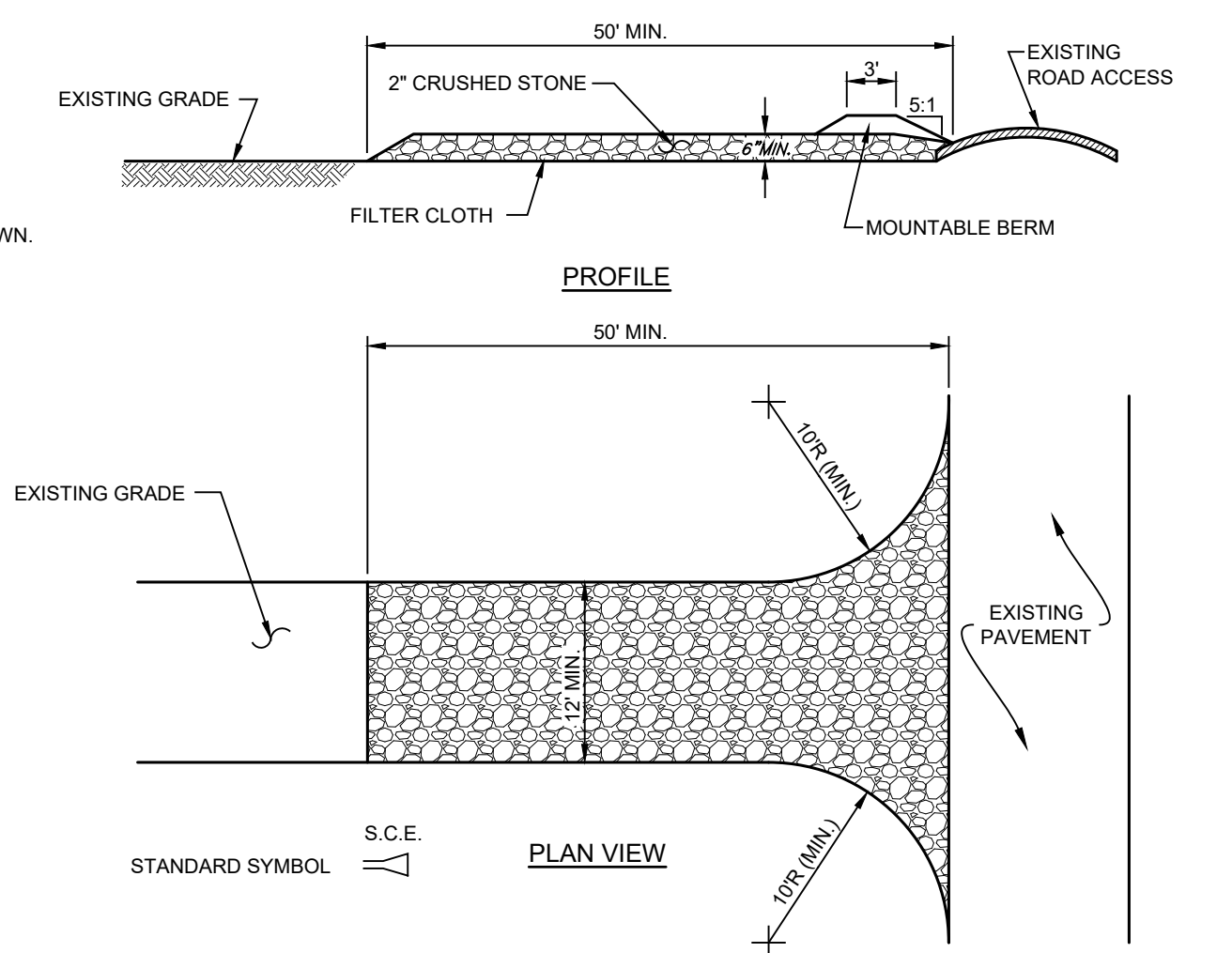


- CONSTRUCTION SEQUENCE (DISTURBANCE AREA 10.61 ACRES)**
- INSTALL SILT FENCE AND CONSTRUCTION FENCING AS SHOWN ON PLANS.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE WHERE SHOWN.
 - CLEAR & GRUB SITE FOR BUILDING PAD, PARKING AREA, DRIVE AISLES.
 - STRIP TOPSOIL FROM BUILDING PAD, DRIVE AISLES AND PARKING AREA & STOCKPILE WHERE SHOWN.
 - ROUGH GRADE
 - INSTALL ALL PROPOSED SITE UTILITIES.
 - TEMPORARY SEED & MULCH SITE.
 - BUILDING CONSTRUCTION
 - FINISH MISCELLANEOUS GRADING WHERE NEEDED.
 - INSTALL BASE COURSE OF PAVEMENT ON ROAD SYSTEM.
 - TOPSOIL, SEED & MULCH ALL DISTURBED AREAS WITH PERMANENT SEED MIXTURE.



TYPICAL SILT FENCE DETAIL
N.T.S.

- NOTES:**
1. LOCATE POSTS DOWNSIDE OF FABRIC TO HELP SUPPORT FENCING.
 2. BURY TOE OF FENCE APPROXIMATELY 8" DEEP TO PREVENT UNDERCUTTING.
 3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVERLAP TO THE NEXT POST.



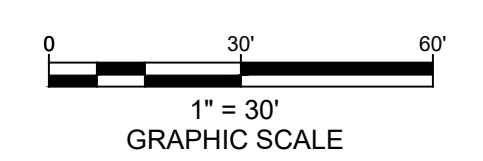
STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
1. USE 1"-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. STABILIZED CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN 50' IN LENGTH (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
 3. PAD THICKNESS SHALL NOT BE LESS THAN 6".
 4. 12" MINIMUM WIDTH, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES SHALL BE PERMITTED.
 7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODICALLY REPLACEMENT OR USE OF ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

LEGEND

- EXISTING PROPERTY LINE
- BUILDING SETBACK LINES
- EXISTING CONTOUR
- EXISTING STREAM BOUNDARY
- EXISTING WETLAND BOUNDARY
- WETLAND ADJACENT AREA
- SILT FENCE

EROSION AND SEDIMENT CONTROL PLAN



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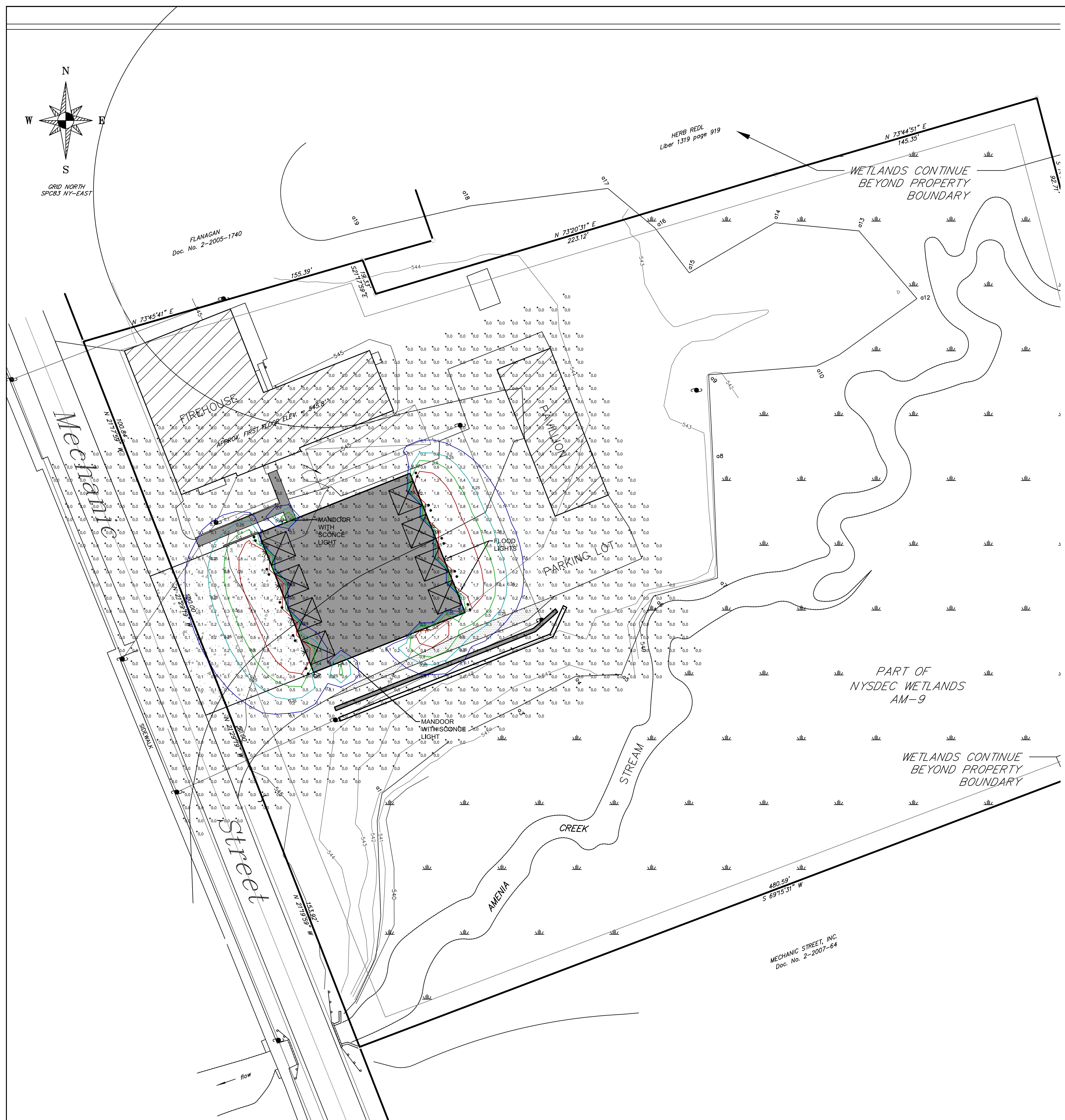
PRELIMINARY

**AMENIA FIREHOUSE
MECHANIC STREET**

TOWN OF AMENIA DUTCHESS COUNTY, NY

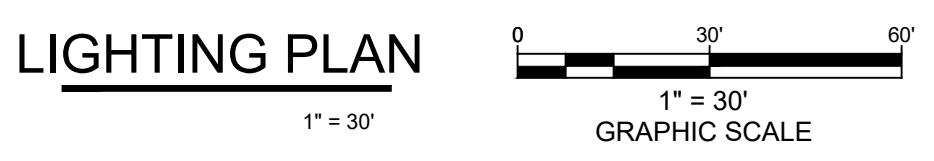
EROSION AND SEDIMENT CONTROL PLAN

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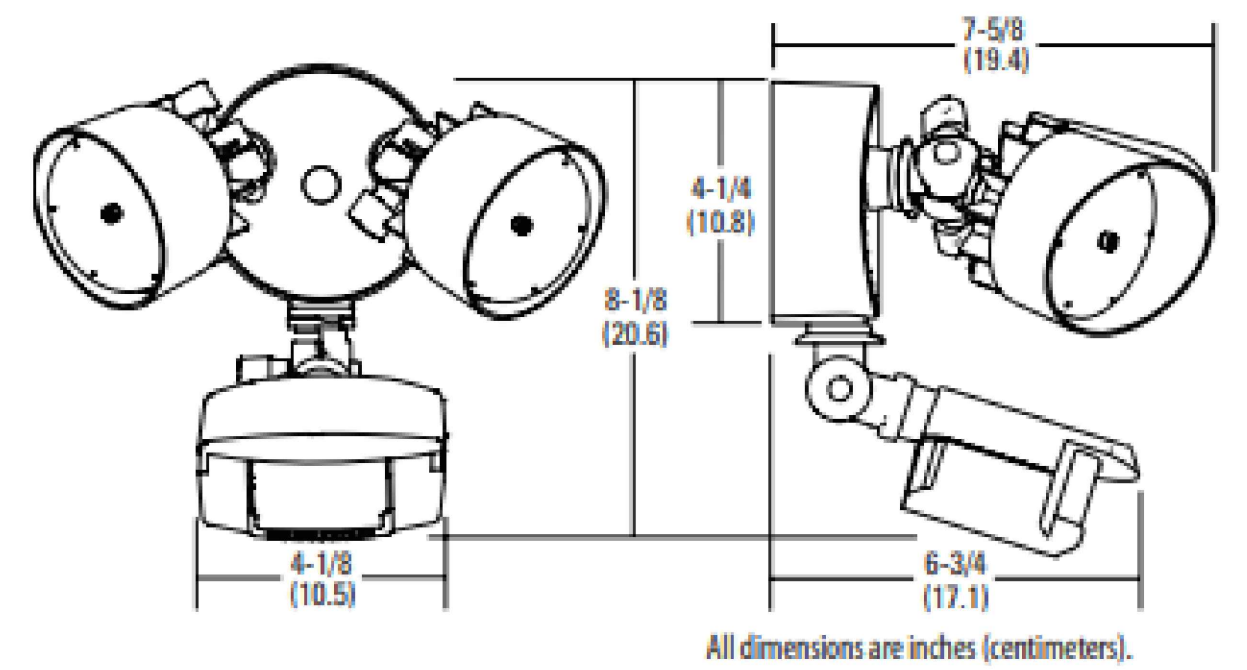
LEGEND

1 FOOTCANDLES CONTOUR	
.5 FOOTCANDLES CONTOUR	
.25 FOOTCANDLES CONTOUR	
.1 FOOTCANDLES CONTOUR	



OFLR 6 MO

LED FLOODLIGHT WITH MOTION SENSOR
2 ADJUSTABLE HEADS
High Performance LED



MOTION DETECTING FLOODLIGHT DETAILS

N.T.S.



SPECIFICATION SHEET

New Haven

Item Number 6230600
1 Light Wall Fixture Oil Rubbed Bronze
Finish with Clear Seeded Glass

Specifications

- Height: 12.75"
- Width: 6.50"
- Extends: 8.63"
- Height from Center of Outlet Box: 4.88"
- Back Plate: H: 6.88" W: 4.50"
- Use (1) Medium (E26) Base Lamp, 100 Watt Maximum



WALL MOUNT LIGHT DETAILS

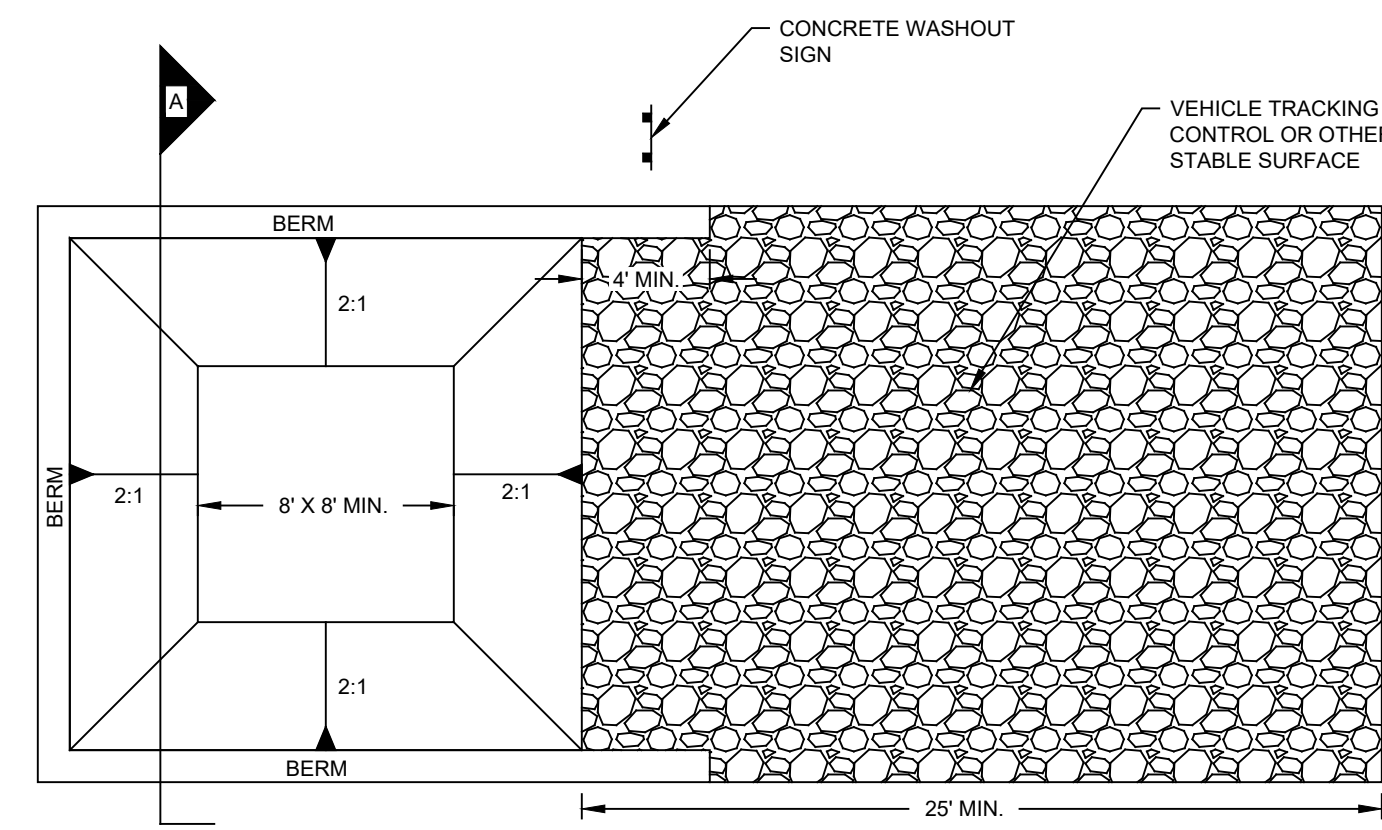
N.T.S.

EXTERIOR LIGHTING SCHEDULE										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LITHONIA LIGHTING (USED TO REPRESENT NEW HAVEN 1-LIGHT OUTDOOR WALL LANTERN)	FMABSL 11F22	PROJECT: D323 CA 11" ABERDALE SCONCE W/ LILAC FABRIC	LED	2	ABSOLUTE	1.0	8.9
	B	9	LITHONIA LIGHTING	OFLR 6LC 120 MO	LED FLOODLIGHT WITH TWO HEADS AND MOTION SENSOR	SIX LED	2	ABSOLUTE	1.0	22

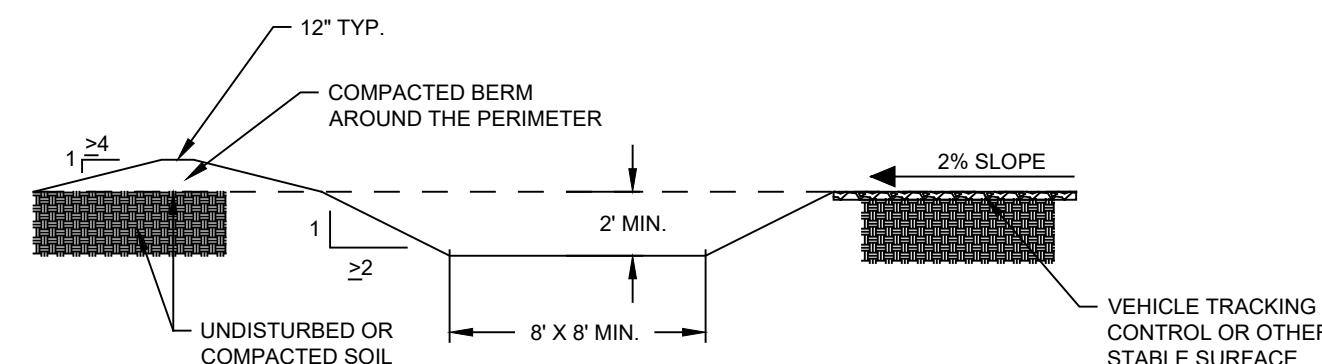
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AMENIA FIREHOUSE MECHANIC STREET TOWN OF AMENIA DUTCHESS COUNTY, NY					
LIGHTING PLAN					
DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	SHEET NO.
10/19/2021	AS SHOWN	RED	RED	RAR	15-004
					3 of 6



CONCRETE WASHOUT AREA PLAN



SECTION A

CONCRETE WASHOUT AREA DETAIL

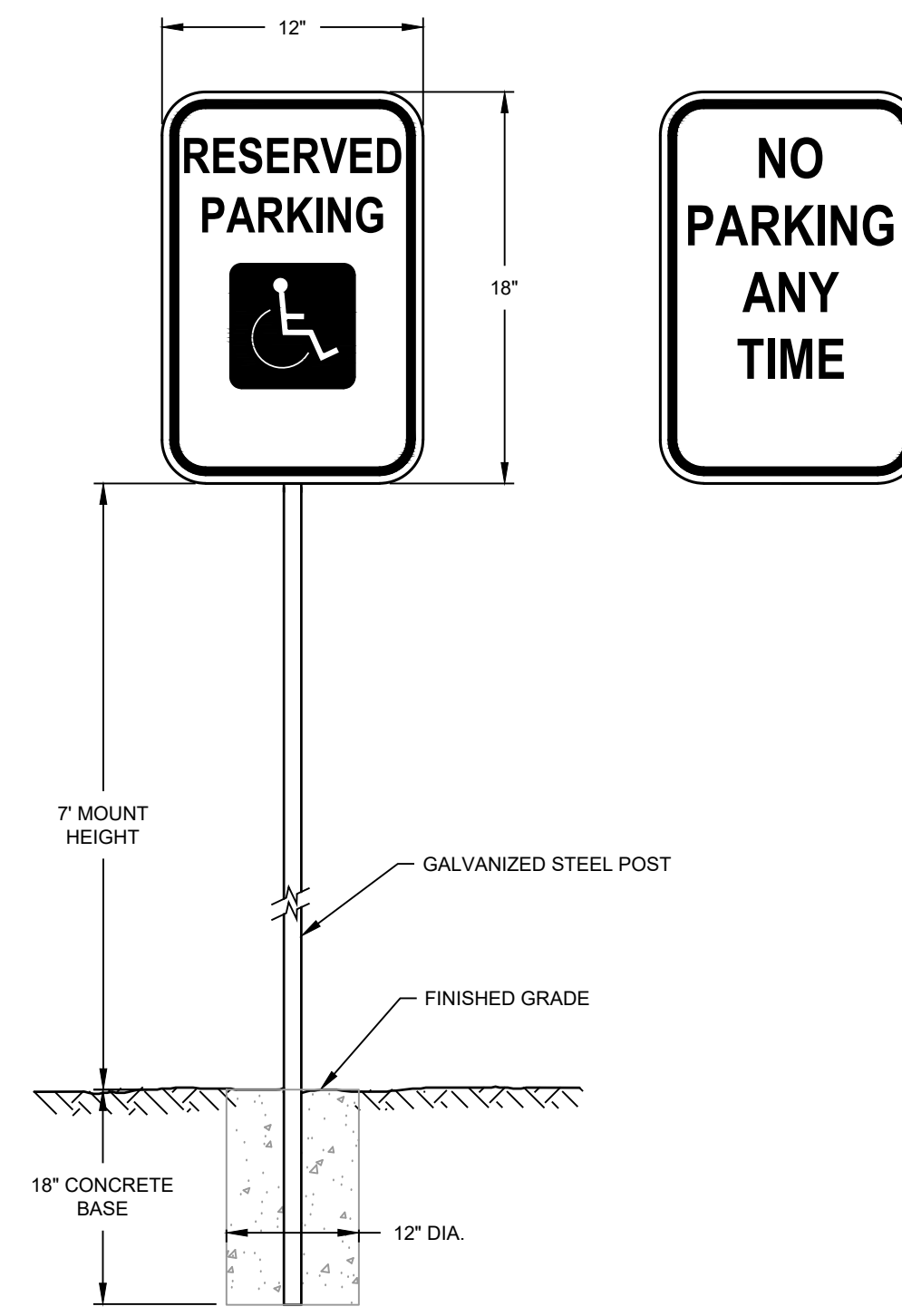
N.T.S.

INSTALLATION NOTES:

- SEE PLAN VIEW FOR INSTALLATION LOCATION.
- LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. THE CONCRETE WASHOUT AREA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (10 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE TO BE USED.
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE A MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CONCRETE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

MAINTENANCE NOTES:

- INSPECT BEST MANAGEMENT PRACTICES (BMPs) EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A 75% CAPACITY.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CONCRETE WASHOUT AREA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

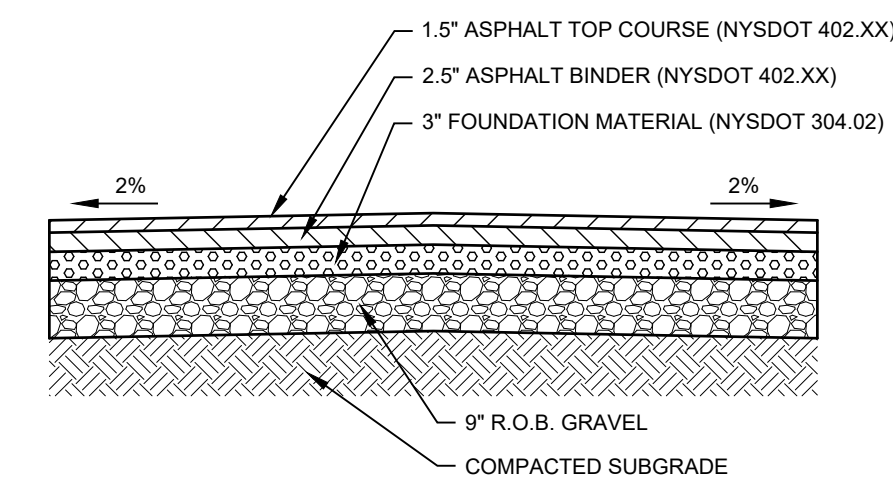


HANDCAP PARKING SIGN

N.T.S.

NOTES:

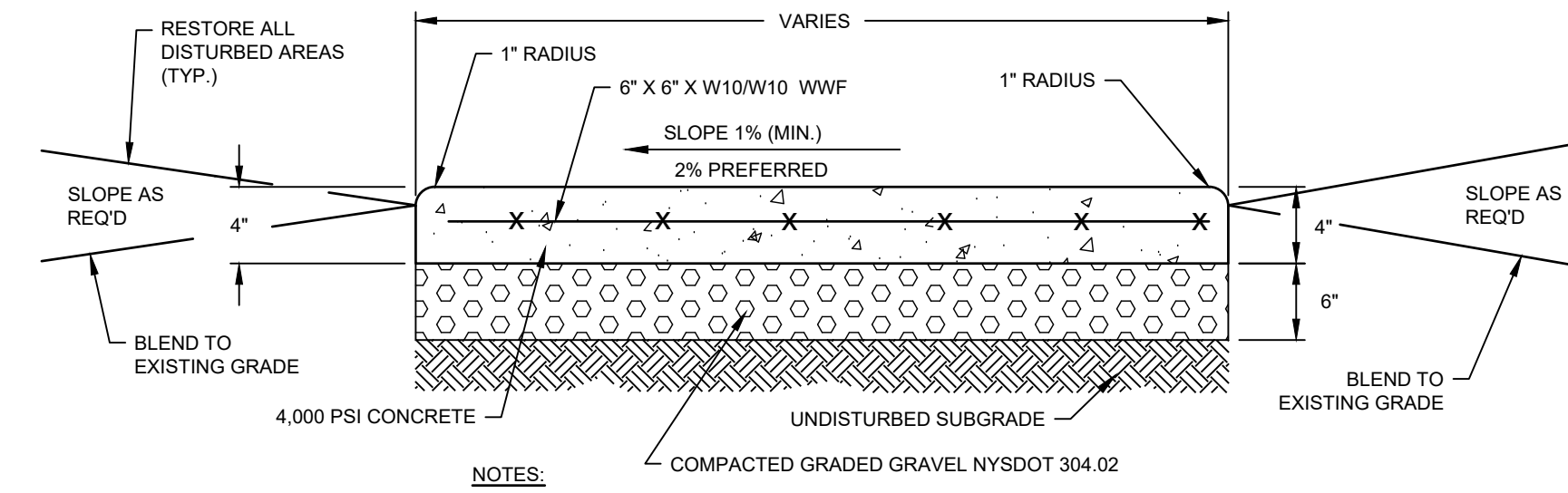
- THE DISABLED PERSON SYMBOL SHALL HAVE WHITE LEGEND ON A BLUE BACKGROUND. WHERE USED TO IDENTIFY A SINGLE MARKED PARKING SPACE.
- SIGNS SHALL BE PERMANENTLY INSTALLED AT A CLEAR HEIGHT OF BETWEEN 60 INCHES AND 84 INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE.



NOTE:
CONTRACTOR TO PROVIDE ENGINEER WITH GRAVEL BANK SOURCE PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.

TYPICAL PAVEMENT DETAIL

N.T.S.

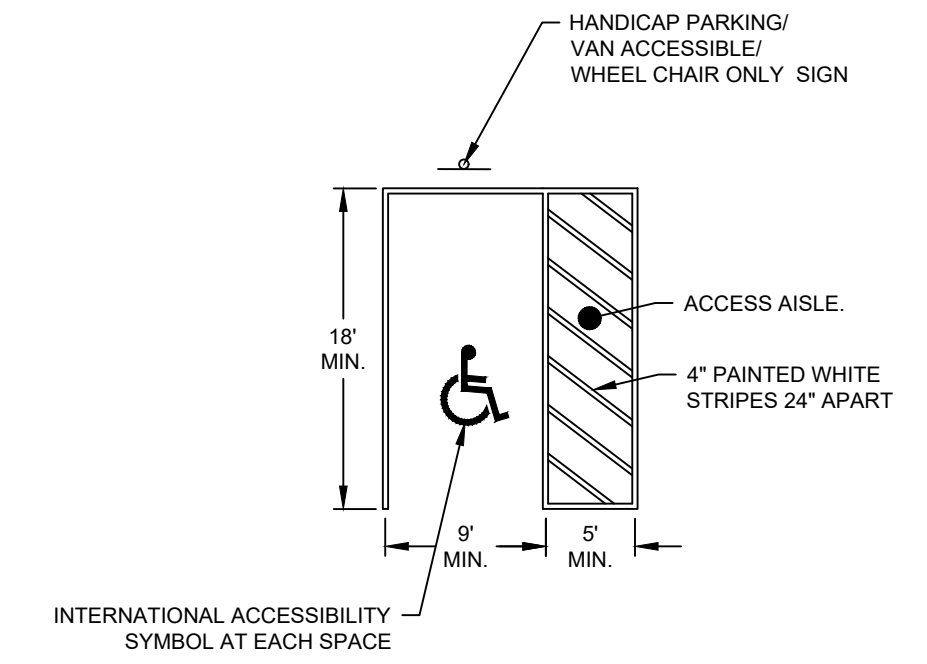


NOTES:

- PROVIDE TOOLED JOINTS AT 48\"/>

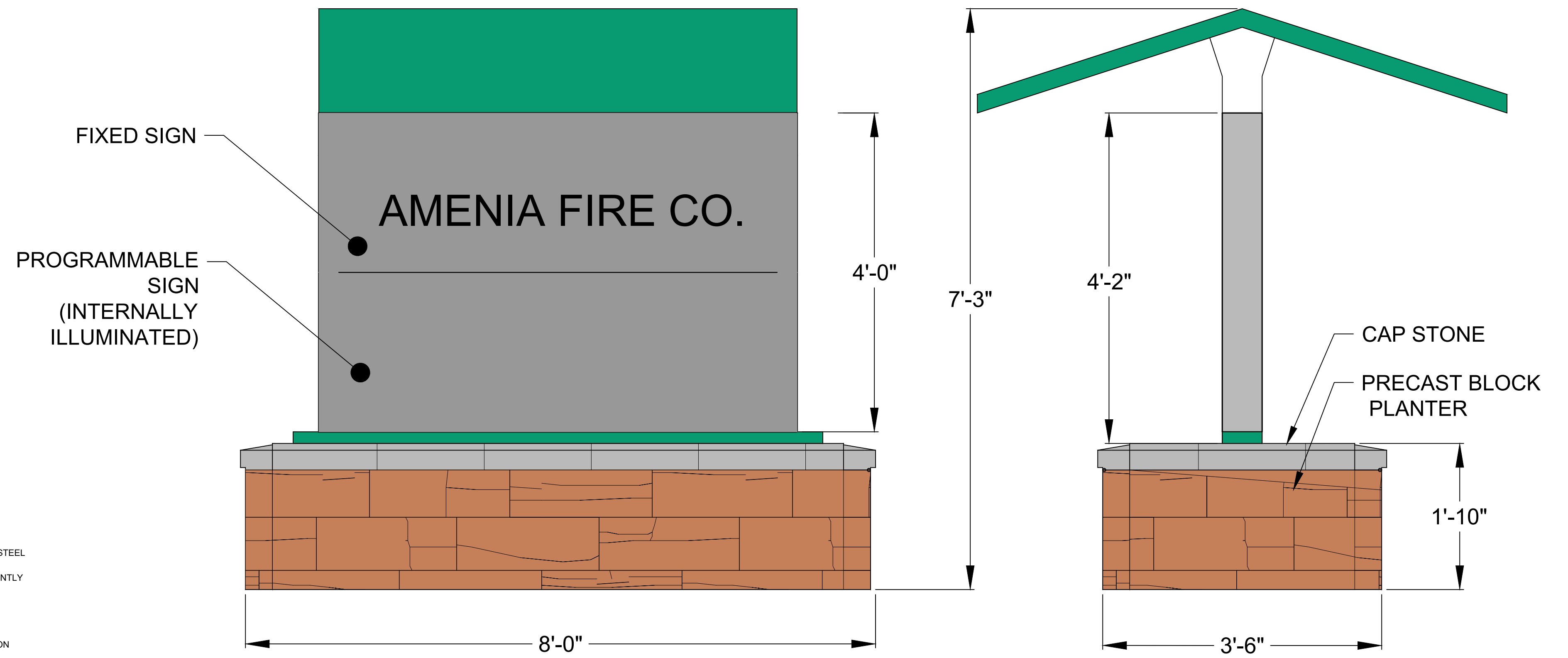
TYPICAL SIDEWALK DETAIL

N.T.S.



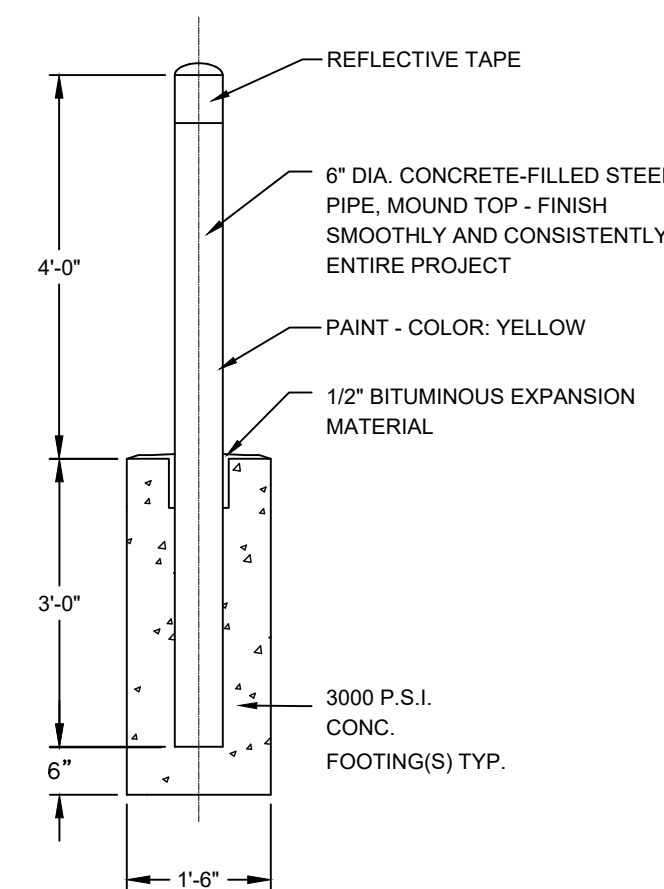
A.D.A. PARKING STALL DETAIL

N.T.S.



2-SIDED PROGRAMMABLE SIGN DETAIL

N.T.S.



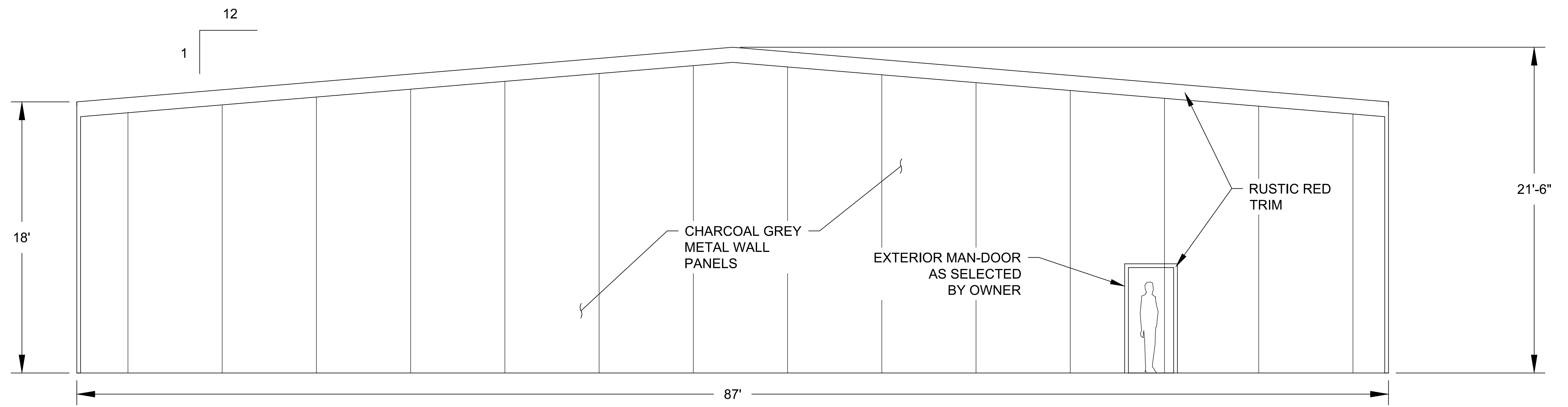
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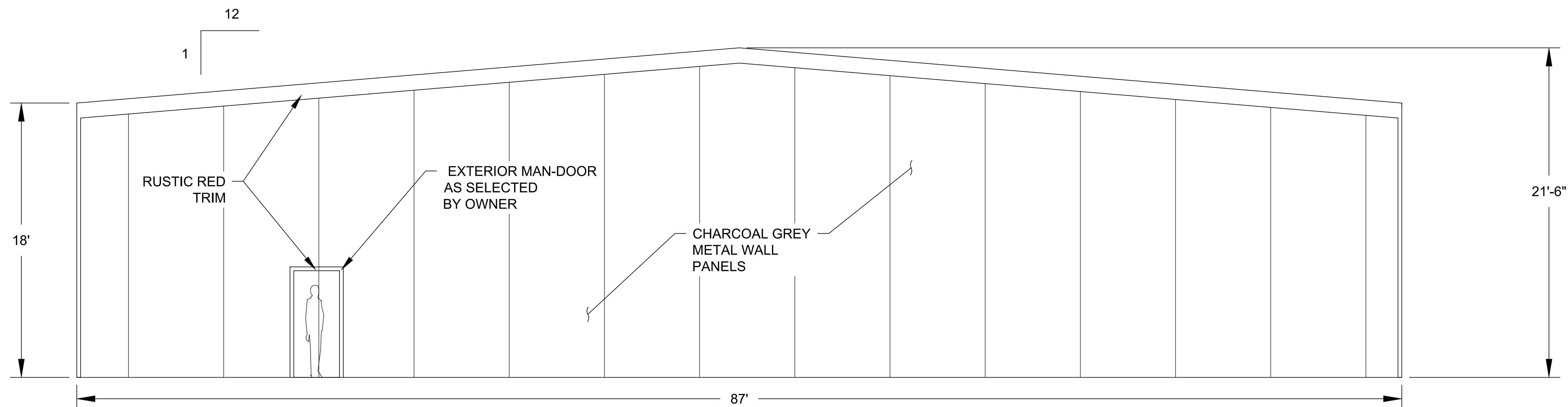
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NORTH ELEVATION



SOUTH ELEVATION

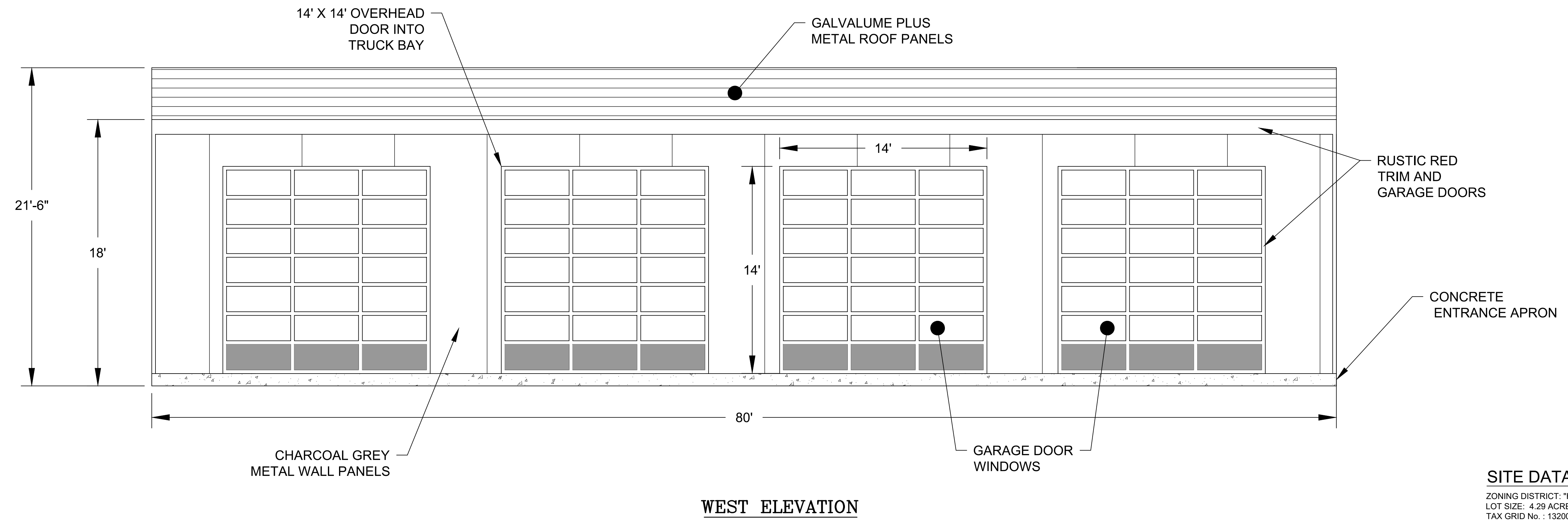
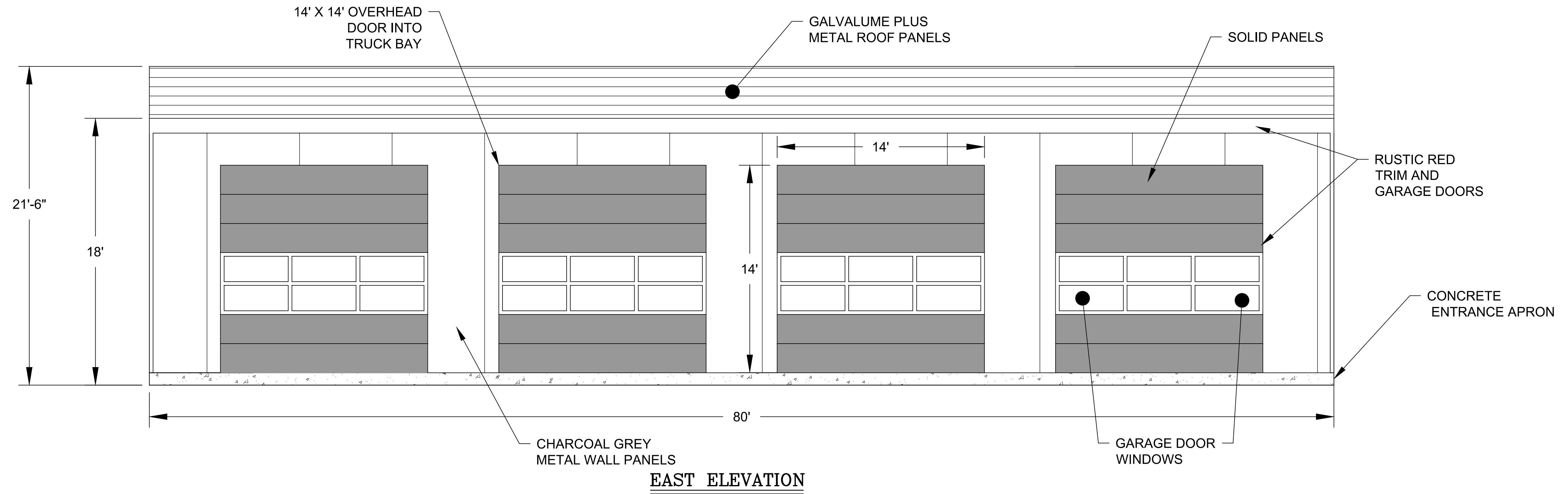
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MECHANIC STREET					
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 1. PROPERTY AND TOPOGRAPHIC SURVEY DATA BASED UPON AN ACTUAL FIELD SURVEY COMPLETED IN JUNE OF 2021 BY KIRK K. HORTON, NYS L.S. NO. 49954.
 2. REGULATORY WETLAND NYSDEC AM-9 IS PRESENT ON PROJECT SITE.
 3. THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND AM-9 AS DELINEATED BY MICHAEL NOWICKI, OF ECOLOGICAL SOLUTIONS, LLC, ON OCTOBER 20, 2019, WETLAND BOUNDARY BASED UPON ACTUAL FIELD SURVEY, COMPLETED ON OR BEFORE JUNE 22, 2021, BY KIRK K. HORTON, NYS L.S. NO. 49954.
 4. AS PER FEMA FIRM PANEL 36027C0331E, AREAS OF SPECIAL FLOOD HAZARD ARE PRESENT ON OR WITHIN THE SITE.

DATE	REVISION

ENGINEERING, DESIGN, & PLANS PREPARED BY:
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**AMENIA FIREHOUSE
 MECHANIC STREET**
 TOWN OF AMENIA DUTCHESS COUNTY, NY

BUILDING ELEVATIONS

DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	JOB NO.	SHEET NO.
10/19/2021	NTS	RED	RED	RAR	15-004	6 of 6